

WESTWAY CONDOMINIUMS

REDEVELOPMENT FOR 201 LAKE STREET EAST
WAYZATA, MINNESOTA



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PUD GENERAL PLAN
REVISED JUNE 28, 2023

PROPERTY DESCRIPTION

STREET ADDRESS: 201 LAKE STREET EAST
PID NUMBER: 06-117-22-23-0364
LEGAL DESCRIPTION: LOT 1, BLOCK 1, LAKE WEST,
HENNEPIN COUNTY MINNESOTA
ACCORDING TO THE RECORDED
PLAT THEREOF.

OWNER AND APPLICANT

OWNER: WESTWAY LLC
319 BARRY AVENUE SOUTH
SUITE 301
WAYZATA, MN 55391
CONTACT: RICK ZITZLOFF
Ph: 952-475-3980
Email: lnproperties@mchsi.com
TAXPAYER: LOWELL ZITZLOFF
319 BARRY AVENUE SOUTH
SUITE 301
WAYZATA, MN 55391

ARCHITECT

BRUCE W. SCHMITT & ASSOCIATES, P.A. - ARCHITECTS
320 MANITOBA AVENUE SOUTH
WAYZATA, MN 55391

CONTACT: DARREN SCHMITT
Ph.: 952-476-6222
Email: dschmitt@brucewschmitt.com

SURVEYOR

SATHRE-BERQUIST, INC.
150 SOUTH BROADWAY
WAYZATA, MN 55391

CONTACT: DANIEL SCHMIDT, PLS
Ph.: 952-476-6000
Email: schmidt@sathre.com

TRAFFIC ENGINEER

S³ TRAFFIC SOLUTION, LLC
8112 W 16TH STREET
MINNEAPOLIS, MN 55426

CONTACT: VERNON E. SWING, PE
Ph.: 612-968-4142
Email: VSWINGTRAFFIC@GMAIL.COM

CIVIL ENGINEER

GRONBERG & ASSOCIATES, INC
445 WILLOW DRIVE NORTH
LONG LAKE, MN 55356

CONTACT: MARK GRONBERG
Ph.: 952-473-4141
Email: MARKG@GRONBERGASSOC.COM

PROJECT OVERVIEW

Lowell Zitzloff and The Zitzloff family are proposing to replace the existing 33,000 square foot (approx.) 2-story office building at 201 East Lake Street with a new 106,000 square foot (approx.) 3-story multi-use building comprised of 38 residential condominium units, 3 commercial condos, 3 flex condos, and underground parking for both residents and public use. Currently, the intent is for all residential and commercial condominiums to be sold and operate under a single home owner's association. Smaller size condominiums will provide a more obtainable type of housing and commercial space for the Wayzata market.

The proposed project is a single building designed to give the appearance of two separate 3-story buildings (east residences and west residences) connected by a shared atrium. The ground level will have 3 commercial condos and 3 flex condos along Lake Street and Edgewood Court, with residential condo units in the rear, shared common space and atrium, and residential condo amenities such as club rooms, fitness room, mail rooms, etc. While the actual uses of the 3 commercial condos and 3 flex condos are unknown (determined at time of sale of the units), the following is the general anticipated types of uses:

- 3 commercial condos are located on the eastern portion of the project at sidewalk level, adjacent to the shared atrium building entrance along lake street. The anticipated use of these units are more intense retail or service commercial uses that will directly serve the residents of this property as well as the general public. Examples may include a small coffee shop, retail sales, boutique shops, finance agents, insurance agents, tailors, designers, etc.
- 3 flex condos are located on the western portion of the project (near Edgewood Court) and are elevated above sidewalk level with exterior staircase entrances from lake street. The intent for these units is for a lower intensity service commercial / office type use, with flexibility to allow residential use or a hybrid of commercial and residential uses that would be conducive to uses similar to a home office. This concept was discussed and approved by the city council during the first stage of the application procedure, concept plan approval.

Applicant is requesting the property be rezoned to the planned unit development (PUD) district. The current zoning for this property is C4-A Limited Central Business District. The purpose of this request is to allow a 3-story building (35' building height), the same number of stories granted to five nearby properties (222 Ferndale, 200 Lake, 235 Lake, 253 Lake, and 275 Lake Street East). These five projects were also located in the C-4A zoning district prior to being redeveloped and rezoned to planned unit development.

Because of the high water table and city modeled wetland flood elevation, a 4'-10" height variance and shoreland impact plan / conditional use permit for the additional building height was approved by the city council in the first stage of the application procedure, concept plan approval.

KEY ALTERATIONS TO THE PROJECT AFTER CONCEPT PLAN APPROVAL

- Increased front yard setback of the west residences along lake street to 10'-0". This was done at the direction of city council as a public benefit to reduce massing, and add landscaping and benches / seating areas. This will make the sidewalk more walkable and pedestrian friendly for the general public.
- As an additional public benefit, the nature path at the north end of the property has been reduced in length to reduce the impact and disturbances to adjacent neighboring residential properties. This change reduces the number of trees that need to be removed, and lowers the projects impervious coverage to 48.2% from the previously proposed 51.05%.
- The number of residential condominiums has increased by two, from 36 to 38, and the number of commercial units has been reduced from 7 to 3. Another 3 condos have been changed to a flex use. The number of units in the east residences has increased by one condo to offer slightly smaller units than previously proposed in the eastern residences portion of the project.
- The below grade parking garage elevation was raised 0.3 feet, from 934.3 to 934.6, per a revised city modeled wetland flood elevation received from the city engineering department. This small change affected the current average grade slightly, however the building height will still be measured from the previous, lower average grade plane elevation and the buildings roofs will remain at the same elevations as shown on the concept approval submittal. The building is in compliance with the variance that was granted by the city council during the concept approval stage of the application procedure.
- The possible trail connection between the neighboring property to the north and the city parking lot has been removed due to lack of interest from the neighboring property and public comment.
- Traffic sight-line triangles have been added to the plans to illustrate all requirements are being met
- The possibility of constructing a culvert to eliminate the existing ditch along the eastern property line and develop that area into a level green space has been investigated. However, it has been determined that due to the poor soil conditions in this area, the construction costs for the culvert and outlet structure would be too much of a financial burden for this project alone to pursue this idea any further.

PUBLIC BENEFITS PROVIDED BY THIS PUD PROJECT

One goal of the Westway Condominiums project is to provide obtainable housing for Wayzata residents that is just steps away from the heart of downtown Wayzata. Replacing the existing vacant office building on this site with a multi-purpose building consisting of residential, commercial, and retail spaces will help make this possible, as well as encourage more pedestrian traffic further west from the existing shops and restaurants of downtown Wayzata. Additional public benefits include:

- Preserving the natural environment of the wetland, and enhancing and revitalizing approximately half an acre of additional wetland buffer area. The unsightly area along the eastern property line and the northern portion of the property will be cleaned up and re-planted with a native Minnesota seed mix.
- Enhancing the pedestrian experience by providing additional building setbacks from the street to allow for additional landscaping and open green spaces.
- Creating a patio with a gathering space adjacent to the lake street sidewalk for the general public to use.
- The project includes an open area between the two residence buildings, accessed directly from the lake street sidewalk, to accommodate multiple tables and seating arrangements open to the public.
- North of the atrium and adjacent to a public surface parking lot, there is an open space terrace with landscaping planters, benches, etc. for the public to enjoy.
- The existing, unsightly parking lot with it's 111 stalls will be removed and replaced with a much smaller and less imposing 11 stall surface lot, which will be open to guests, customers and the general public. The remainder of the parking will be concealed below grade within the building.



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201 LAKE STREET EAST, WAYZATA, MINNESOTA

PROJECT INFORMATION

PUD GENERAL PLAN
REVISED JUNE 28, 2023

WESTWAY CONDOMINIUMS

REDEVELOPMENT FOR 201 LAKE STREET EAST
WAYZATA, MINNESOTA



WEST RESIDENCES - COMMERCIAL SPACE



LAKE STREET PUBLIC ENTRANCE

WESTWAY CONDOMINIUMS

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WEST RESIDENCES - EDGEWOOD COURT



WEST RESIDENCES - LAKE STREET

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ARCHITECTS

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SITE AREA

SITE AREA:	118,972 sf	(2.73 ACRES)
WETLAND AREA:	25,820 sf	(0.59 ACRE)
SITE AREA EXCLUDING WETLAND AREA:	93,152 sf	(2.14 ACRES)

IMPERVIOUS SURFACE COVERAGE

The proposed re-development will increase the impervious surface area only slightly on the property.

EXISTING IMPERVIOUS SURFACE AREA:	47.2%	(56,185 sf / 118,972 sf)
PROPOSED IMPERVIOUS SURFACE AREA:	48.2%	(57,336 sf / 118,972 sf)

Per the shoreland ordinance, impervious area may be allowed between 25% and up to 75% where structures and practices are in place for the treatment of stormwater runoff and/or prevent stormwater from directly entering a public water in compliance with the stormwater management plan for the city of Wayzata, or as approved by the city engineer.

LOT COVERAGE

40,498 sf (TOTAL BUILDING FOOTPRINT) / 118,972 sf LOT AREA = 34.04%

There is no requirement for lot coverage in central business zoning district. It should be noted that nearby properties have a much higher lot coverage percentage.

BUILDING FLOOR AREA CALCULATED TO SHEATHING LINE (EXCLUDES BASEMENT PARKING LEVEL)

GROUND LEVEL	37,356 sf	SECOND FLOOR	35,313 sf	THIRD FLOOR	33,394 sf
3 COMMERCIAL CONDOS	4,644 sf	15 RESIDENTIAL CONDOS	31,510 sf	14 RESIDENTIAL CONDOS	29,405 sf
3 COM / RES FLEX CONDOS	3,908 sf	COMMON AREAS	3,803 sf	COMMON AREAS	3,989 sf
9 RESIDENTIAL CONDOS	18,082 sf				
COM / RES SHARED AREAS	4,948 sf				
RES AMENITY & COMMON AREAS	5,764 sf				

RESIDENTIAL SITE DENSITY & COMMERCIAL FAR

RESIDENTIAL DENSITY (WETLAND AREAS HAVE BEEN EXCLUDED FROM THESE CALCULATIONS):

USE	SQUARE FOOTAGE	PERCENTAGE OF BUILDING	LOT AREA EXCLUDING WETLANDS	PRO-RATED LOT AREA
RESIDENTIAL	92,563 sf	87.3%	93,152 sf	81,322 sf (1.87 ACRES)
COMMERCIAL	13,500 sf	12.7%	93,152 sf	11,830 sf (0.27 ACRES)
TOTAL	106,063 sf	100%	93,152 sf	93,152 sf (2.14 ACRES)

(AREAS AT BASEMENT PARKING LEVEL HAVE NOT BEEN INCLUDED IN THE ABOVE CALCULATIONS)

38 RESIDENTIAL CONDO UNITS PROPOSED = 38 UNITS / 1.87 ACRES = 20.3 OR 20 DU/AC (20 DU/AC MIN REQ'D PER COMP PLAN)

R-5 MINIMUM LOT AREA PER DWELLING UNIT:
2,175 sf (BASE REQUIREMENT)

ALLOWANCES FOR MINIMUM LOT AREA PER DWELLING UNIT:

-22,800 sf	(300 sf x 76 RESIDENTIAL PARKING SPACES) SUBTRACT 300 sf PER UNDERGROUND PARKING SPACE
- 870 sf	(100 sf x 6,708 sf OF PUBLIC OPEN SPACE) SUBTRACT 100 sf FOR EACH 1,000 sf OF PUBLIC OPEN SPACE PROVIDED
-23,470 sf	TOTAL ALLOWANCE WHICH MAY BE SUBTRACTED (23,470 sf / 38 UNITS = 617.63 PER UNIT)

82,650 sf	(2,175 sf PER UNIT x 38 UNITS) BASE REQUIREMENT
-23,470 sf	(MAX ALLOWANCE WHICH MAY BE SUBTRACTED)
59,180 sf	(1.35 ACRES) TOTAL LOT AREA REQUIRED PER R-5 REQUIREMENTS

81,322 sf (1.87 ACRES) LOT AREA PROVIDED

COMMERCIAL FAR (WETLAND AREAS HAVE BEEN EXCLUDED FROM THESE CALCULATIONS):

COMMERCIAL AREAS	=	13,500 sf
LOT AREA (PRO-RATED)	=	11,830 sf
ACTUAL FLOOR AREA RATIO	=	1.14
MAXIMUM FAR IN C4 ZONING DISTRICT	=	2.00

BUILDING HEIGHT

FLOOR ELEVATIONS:

934.60 =	PARKING LEVEL FLOOR ELEVATION (DETERMINED PER REVISED CITY MODELED WETLAND FLOOD ELEVATION)
944.93 =	TYPICAL FIRST FLOOR ELEVATION (± 6'-0" FEET ABOVE SIDEWALK AT LAKE STREET SHARED ATRIUM)
936.80 =	TYPICAL FIRST FLOOR ELEVATION AT COMMERCIAL / SIDEWALK LEVEL
955.93 =	SECOND FLOOR ELEVATION
966.93 =	THIRD FLOOR ELEVATION

Average grade plane elevation = 940.67 feet will be used to determine the building height. This is the average grade elevation that was approved in the first stage of the application procedure, concept plan approval. The current average grade plane elevation depicted in this phase of the project (general plan submittal) is 940.92 feet (3" higher). Average grade has not been raised to increase the building height. Building height is still being measured to the lower average grade plane elevation called out in the concept plan phase.

Reasons for the current average grade plane elevation being different in this phase include:

- Changes in design due to council resolution comments during phase one of the project (concept approval)
- The city modeled wetland flood elevation has been raised 3 3/4" from the previous elevation provided by the city.

TYPICAL BUILDING HEIGHT = 38.83 FEET or 38'-10" (SEE EXCEPTION BELOW AT SMALL PITCHED ROOFS AND EAST RESIDENCES ACCENT ROOFS)

TYPICAL FLAT ROOF ELEVATION = 979.47 FEET

MEAN ELEVATION OF THE SMALL PITCHED ROOFS AT BOTH RESIDENCE'S CORNERS AND THE EAST RESIDENCES ACCENT ROOFS =	960.42
960.42 (SAME HEIGHT PER CONCEPT PLAN APPROVAL)	
- 940.67 (AVERAGE GRADE ELEVATION USED FOR DETERMINING BUILDING HEIGHT, PER CONCEPT PLAN APPROVAL)	
39.75 FEET or 39'-9" =	PROPOSED BUILDING HEIGHT AT AVERAGE HEIGHT OF THE HIGHEST GABLE
(THIS IS 1" LESS THAN THE PREVIOUSLY APPROVED HEIGHT DEVIATION)	

The Shoreland Impact Plan / Conditional Use Permit required for building height deviation was approved by the city council in the first stage of the application procedure, concept plan approval. This included a 4'-10" deviation above the pud district's 35'-0" height limit (39'-10" total building height allowed per this approval)

GROUND LEVEL USES

There are 6 condominiums along Lake Street building frontage. The three easterly condos are proposed to have more intensive retail or service commercial uses. There is potential for one of these commercial condos to be a ±600 sf coffee shop adjacent to the outdoor seating area. Examples of more intensive uses for the other commercial condos may include retail sales, boutique shops, finance agents, insurance agents, tailors, designers, etc.

The three westerly condos are proposed to be lower intensity service commercial / office type use, with the flexibility to allow residential use or a hybrid of commercial and residential uses that would be conducive to uses similar to a home office.

The PLD zoning district does not require commercial use along Lake Street; however, if the property were to remain in the C4-A zoning district, the minimum requirement would be 50%.

RESTRICTIVE COVENANT RELATED TO PROPERTY

Westway condominiums intends to have one (1) HOA - Home Owner's Association - with a recorded declaration of covenants and restrictions and related documents. The HOA will be the property owner. HOA membership will be required for all condominium owners, whether they are commercial or residential use. The declaration of covenants and associated HOA documents will contain typical restrictive covenants for similar condominium associations.

At this time, the above statement is the general intent of the restrictive covenant related to the property. Note: The applicant will draft the declaration of covenants and restrictions, together with related HOA documents, and provide the same at a later date, as the development proceeds forward.

PARKING CALCULATIONS & LOADING REQUIREMENTS

LOADING REQUIREMENTS:

TWO SPACES REQUIRED, THREE SPACES PROVIDED
SIZE OF PROVIDED SPACES: (1) 12 x 67'-8", (2) 12 x 28

REQUIRED STALLS:

38 RESIDENTIAL CONDO UNITS =	76	(2 PER UNIT, 1 MIN TO BE ENCLOSED: 38 x 2 = 76 REQ'D)
POTENTIAL COFFEE SHOP =	10	(15.2 PER 1,000 sf: 619 / 1,000 x 15.2 = 9.41 OR 10 REQ'D)
7,933 sf OF SERVICE COMMERCIAL AND FLEX UNITS =	24	(3 PER 1,000 sf: 7,933 / 1,000 x 3 = 23.80 OR 24 REQ'D)
TOTAL =	110	(38 REQUIRED TO BE ENCLOSED)

PROVIDED STALLS:

ENCLOSED STALLS =	102
SURFACE LOT / GUEST PARKING STALLS =	11
TOTAL =	113 PROVIDED

PARKING STALL DISTRIBUTION AT UNDERGROUND PARKING GARAGE:

76 ASSIGNED TO THE RESIDENTIAL CONDOS (2 STALLS EACH)
26 ASSIGNED TO THE SERVICE COMMERCIAL AND FLEX CONDOS (ALLOCATED BASED ON CONDO SQUARE FOOTAGE)

THERE ARE 16 PAIR OF TANDEM PARKING STALLS PROPOSED. EACH PAIR WILL BE ASSIGNED TO THE SAME CONDO (i.e. NO CONDO WILL HAVE A STALL BLOCKED BY A STALL ASSIGNED TO A DIFFERENT CONDO). THESE 16 PAIR OF TANDEM STALLS WILL BE ASSIGNED TO EITHER TWO-BEDROOM RESIDENTIAL CONDOS OR COMMERCIAL CONDOS FOR USE AS EMPLOYEE PARKING STALLS

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PROJECT CALCULATIONS

PUD GENERAL PLAN
REVISED JULY 17, 2023

RESIDENTIAL PUD/CUP DENSITY EVALUATION

SUITABLE AREA WITHIN EACH TIER	TIER 2	TIER 3
PROPOSED RESIDENTIAL DWELLING UNITS	20	16
DENSITY	21.45 du/ac (20 / .932)	21.05 du/ac (16 / .755)

THIRD FLOOR LEVEL

- TIER 2 RESIDENTIAL CONDOS = 8
- RESIDENTIAL CONDO 301
 - RESIDENTIAL CONDO 302
 - RESIDENTIAL CONDO 303
 - RESIDENTIAL CONDO 310
 - RESIDENTIAL CONDO 311
 - RESIDENTIAL CONDO 312
 - RESIDENTIAL CONDO 313
 - RESIDENTIAL CONDO 314

- TIER 3 RESIDENTIAL CONDOS = 6
- RESIDENTIAL CONDO 304
 - RESIDENTIAL CONDO 305
 - RESIDENTIAL CONDO 306
 - RESIDENTIAL CONDO 307
 - RESIDENTIAL CONDO 308
 - RESIDENTIAL CONDO 309

SECOND FLOOR LEVEL

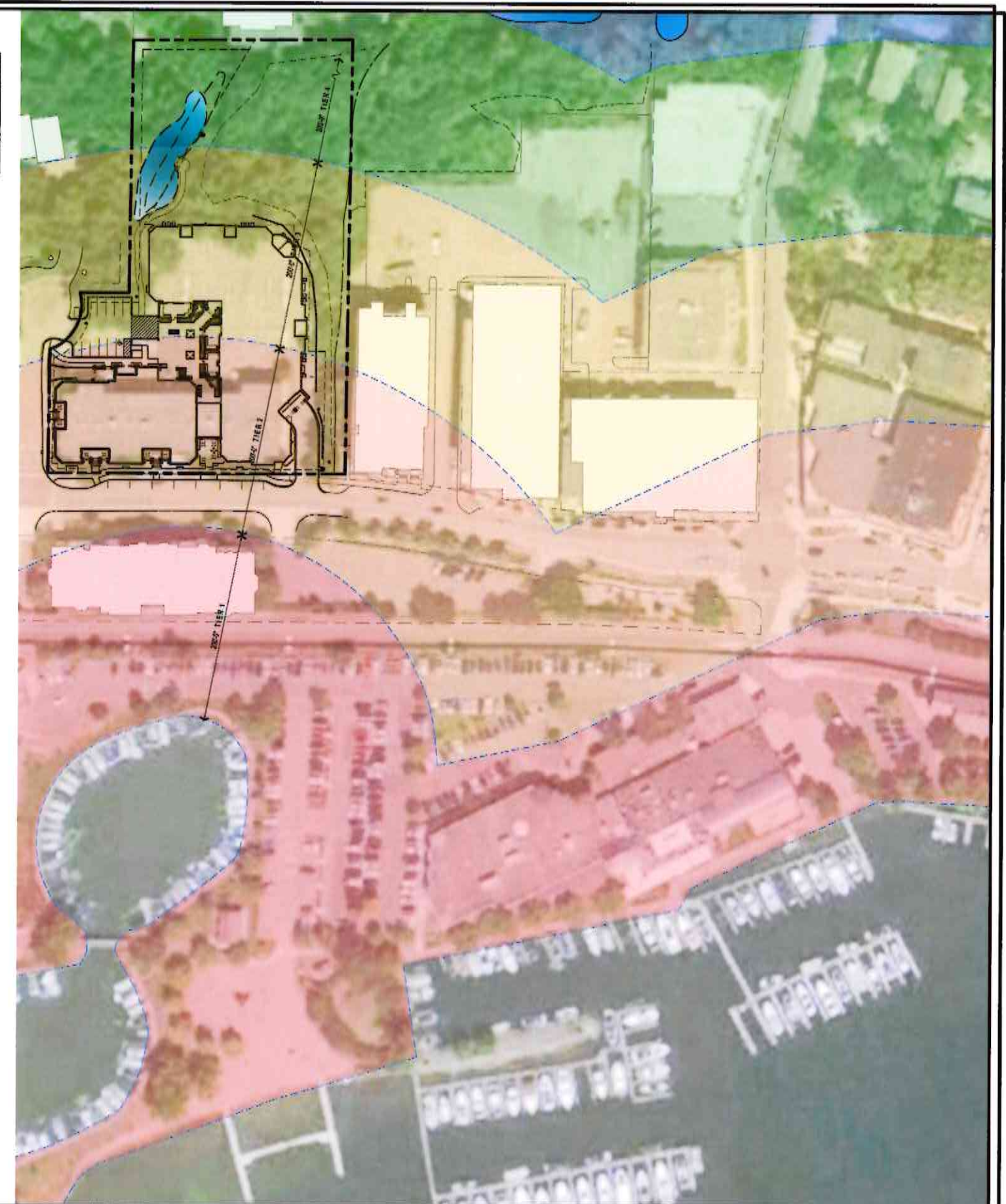
- TIER 2 RESIDENTIAL CONDOS = 9
- RESIDENTIAL CONDO 201
 - RESIDENTIAL CONDO 202
 - RESIDENTIAL CONDO 203
 - RESIDENTIAL CONDO 210
 - RESIDENTIAL CONDO 211
 - RESIDENTIAL CONDO 212
 - RESIDENTIAL CONDO 213
 - RESIDENTIAL CONDO 214
 - RESIDENTIAL CONDO 215

- TIER 3 RESIDENTIAL CONDOS = 6
- RESIDENTIAL CONDO 204
 - RESIDENTIAL CONDO 205
 - RESIDENTIAL CONDO 206
 - RESIDENTIAL CONDO 207
 - RESIDENTIAL CONDO 208
 - RESIDENTIAL CONDO 209

FIRST FLOOR LEVEL

- TIER 2 RESIDENTIAL CONDOS = 3
- RESIDENTIAL CONDO 107
 - RESIDENTIAL CONDO 108
 - RESIDENTIAL CONDO 115

- TIER 3 RESIDENTIAL CONDOS = 6
- RESIDENTIAL CONDO 109
 - RESIDENTIAL CONDO 110
 - RESIDENTIAL CONDO 111
 - RESIDENTIAL CONDO 112
 - RESIDENTIAL CONDO 113
 - RESIDENTIAL CONDO 114



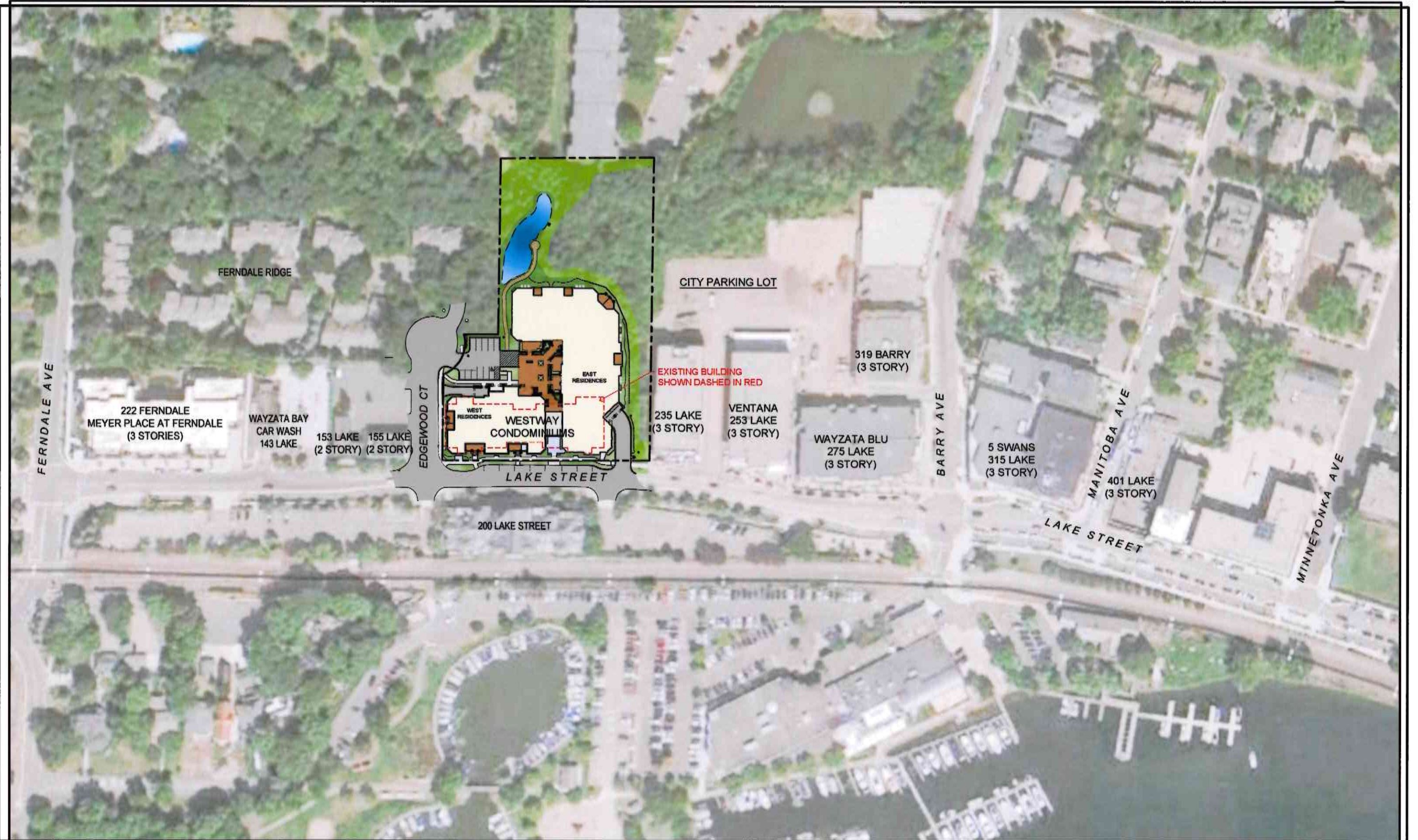
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RESIDENTIAL PUD / CUP
 DENSITY PLAN



PUD GENERAL PLAN
 REVISED JUNE 28, 2023



FERNDALE RIDGE

FERNDALE AVE

222 FERNDAL
MEYER PLACE AT FERNDAL
(3 STORIES)

WAYZATA BAY
CAR WASH
143 LAKE

153 LAKE (2 STORY)
155 LAKE (2 STORY)

EDGEWOOD CT

WESTWAY
CONDOMINIUMS

LAKE STREET

200 LAKE STREET

CITY PARKING LOT

EXISTING BUILDING
SHOWN DASHED IN RED

235 LAKE
(3 STORY)

VENTANA
253 LAKE
(3 STORY)

WAYZATA BLU
275 LAKE
(3 STORY)

319 BARRY
(3 STORY)

BARRY AVE

5 SWANS
315 LAKE
(3 STORY)

MANITOBA AVE

401 LAKE
(3 STORY)

LAKE STREET

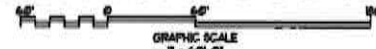
MINNETONKA AVE

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WESTWAY CONDOMINIUMS
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NEIGHBORHOOD MAP



PUD GENERAL PLAN
REVISED JUNE 28, 2023

PROPOSED AVERAGE GRADE PLANE

Station	Wall Length	Actual Elevation	Percentage of Perimeter	Contributing Elevation
SOUTH A	10.375	940.795	0.01	7.51
B	20.67	940.88	0.02	15.16
C	3.33	940.67	0.00	2.44
D	14	940.6	0.01	10.26
E	14	940.6	0.01	10.26
F	3.33	940.155	0.00	2.44
G	31	939.735	0.02	22.70
H	5	939.735	0.00	3.66
I	3.33	938.485	0.00	2.44
J	14	939.57	0.01	10.26
K	14	940.06	0.01	10.26
L	3.33	939.005	0.00	2.44
LA	20.67	938.72	0.02	15.12
N	10.375	938.53	0.01	7.50
O	20	938.0	0.02	14.63
P	26	938.0	0.02	18.26
Q	17.33	939.0	0.01	12.69
R	10.375	938.6	0.01	7.59
S	26.33	939.25	0.02	18.62
T	3.67	938.25	0.00	2.69
U	24	938.25	0.02	17.66
V	3.67	937.5	0.00	2.68
W	10	937.5	0.01	7.30
X	3	938.25	0.00	2.18
Y	7.374	938.25	0.01	5.39
Z	27.93	938.25	0.02	20.42
AA	4	938.0	0.00	2.92
BB	7	938.0	0.01	5.11
CC	11.58	938.2	0.01	8.47
DD	11.58	935.1	0.01	8.44
EE	22.41	935.1	0.02	16.33
FF	0.33	939.6	0.00	0.24
GG	24.67	939.5	0.02	18.06
HH	3.33	939.415	0.00	2.44
I	28	938.33	0.02	20.80
J	2	938.28	0.00	1.46
KK	22.67	938.06	0.02	16.59
LL	2	938.7	0.00	1.46
MM	28	938.79	0.02	20.46
NN	3.34	938.015	0.00	2.44
OO	28.67	938.0	0.02	20.80
PP	10.375	939.125	0.01	7.59
QQ	1.33	939.5	0.00	0.97
RR	13.33	938.28	0.01	9.78
SS	15.08	939.25	0.01	11.04
TT	13.34	939.25	0.01	9.78
UU	1.33	939.5	0.00	0.97
VV	10.374	939.25	0.01	7.59
WW	113.33	938.75	0.09	82.90
XX	10.375	938.25	0.01	7.59
YY	46.33	941.95	0.05	47.84
ZZ	10.375	944.175	0.01	7.53
AAA	3	944.8	0.00	2.21
BBB	46.33	944.85	0.04	34.11
CCC	0.67	944.93	0.00	0.49
DDD	2.36	944.93	0.00	1.78
EEE	23.04	944.93	0.02	17.63
FFF	89.07	944.93	0.05	50.86
GGG	11	944.93	0.01	8.10
HHH	11	944.93	0.01	8.10
I	25	944.93	0.02	18.41
JJ	8.993	944.93	0.01	6.60
LLL	0.67	944.93	0.00	0.49
MMM	0.382	944.93	0.00	0.16
NNN	9.818	944.93	0.01	7.23
OOO	33.05	944.93	0.03	24.34
PPP	13.33	944.93	0.01	9.92
QQQ	20.67	944.76	0.02	15.22
RRR	2.34	944.76	0.00	1.72
SSS	25.34	944.76	0.02	18.66
TTT	3.21	944.76	0.00	2.39
UUU	1	944.2	0.00	0.74
VVV	13.125	944.2	0.01	9.63
WWW	7	944.115	0.01	5.13
XXX	2	944.03	0.00	1.47
YYY	13.87	944.03	0.01	10.05
ZZZ	0.67	944	0.00	0.49
AAAA	19.33	943.76	0.02	14.21
BBBB	15	942.47	0.01	11.02
CCCC	10.375	941.885	0.01	7.61
DDDD	3	941.1	0.00	2.20
EEEE	10.5	941.1	0.01	7.70
FFFF	1.33	940.87	0.00	0.98
GGGG	29.67	940.78	0.02	21.78
HHHH	1.34	940.575	0.00	0.98
III	25.67	940.51	0.02	19.55
JJJJ	1.5	940.61	0.00	1.10
Total	1283.271		1.00	940.92

EXISTING AVERAGE GRADE PLANE

Station	Wall Length	Actual Elevation	Percentage of Perimeter	Contributing Elevation
SOUTH A	10.375	940.25	0.01	7.50
B	20.67	940.4	0.02	15.15
C	3.33	941	0.00	2.44
D	14	941	0.01	10.26
E	14	940.1	0.01	10.26
F	3.33	940.95	0.00	2.44
G	31	940	0.02	22.71
H	5	938.5	0.00	3.66
I	3.33	939.1	0.00	2.44
J	14	938.1	0.01	10.26
K	14	938.1	0.01	10.26
L	3.33	938.5	0.00	2.44
M	20.67	938.935	0.02	15.12
N	10.375	939.325	0.01	7.50
O	20	941	0.02	14.67
P	26	941	0.02	18.33
Q	17.33	941	0.01	12.71
R	10.375	937.5	0.01	7.59
S	26.33	937.75	0.02	18.51
T	3.67	937.5	0.00	2.69
U	24	937.25	0.02	17.53
V	3.67	937	0.00	2.68
W	10	937	0.01	7.30
X	3	938.25	0.00	2.18
Y	7.374	938.7	0.01	5.38
Z	27.91	937.5	0.02	20.39
AA	4	937.5	0.00	2.92
BB	7	938.2	0.01	5.12
CC	11.58	938.1	0.01	8.47
DD	11.58	938.4	0.01	8.48
EE	22.41	938.5	0.02	16.36
FF	0.33	939.1	0.00	0.24
GG	24.67	939.15	0.02	18.04
HH	3.33	939.2	0.00	2.43
I	28	937.7	0.02	20.48
J	2	937.2	0.00	1.46
KK	22.67	937	0.02	16.55
LL	2	938.8	0.00	1.46
MM	28	938.8	0.02	20.44
NN	3.33	938.4	0.00	2.43
OO	28.67	938.5	0.02	20.82
PP	10.375	938.8	0.01	7.67
QQ	1.33	939.5	0.00	0.97
RR	13.33	938.6	0.01	9.73
SS	15.08	938.8	0.01	11.01
TT	13.34	937.1	0.01	9.73
UU	1.33	937.8	0.00	0.97
VV	10.374	937.85	0.01	7.58
WW	113.33	938.1	0.09	82.85
XX	10.375	938.15	0.01	7.58
YY	46.33	938.45	0.05	47.78
ZZ	10.375	938.75	0.01	7.59
AAA	3	938.9	0.00	2.18
BBB	46.33	938.9	0.04	33.90
CCC	0.67	938.9	0.00	0.49
DDD	2.36	939	0.00	1.78
EEE	23.04	939.125	0.02	17.62
FFF	89.07	939.675	0.05	50.59
GGG	11	940.9	0.01	8.06
HHH	11	941	0.01	8.07
I	25	941	0.02	18.33
JJ	8.993	941	0.01	6.37
LLL	0.67	941	0.00	0.49
MMM	0.382	940.875	0.00	0.13
NNN	9.818	940.425	0.01	7.19
OOO	33.05	940.1	0.03	24.21
PPP	13.33	940.05	0.01	9.76
QQQ	20.67	939.95	0.02	15.14
RRR	2.34	938.8	0.00	1.71
SSS	25.34	939.95	0.02	18.55
TTT	3.21	940	0.00	2.35
UUU	1	940	0.00	0.73
VVV	13.125	940.8	0.01	9.62
WWW	7	940.8	0.01	5.13
XXX	2	940.8	0.00	1.47
YYY	13.87	940.85	0.01	10.02
ZZZ	0.67	940.8	0.00	0.49
AAAA	19.34	940.9	0.02	14.18
BBBB	15	940.9	0.01	11.00
CCCC	10.375	940.7	0.01	7.61
DDDD	3	940.7	0.00	2.20
EEEE	10.5	941	0.01	7.70
FFFF	1.33	941	0.00	0.98
GGGG	29.67	941	0.02	21.76
HHHH	1.34	941	0.00	0.98
III	25.67	941	0.02	19.56
JJJJ	1.5	940.1	0.00	1.10
Total	1283.271		1.00	939.08

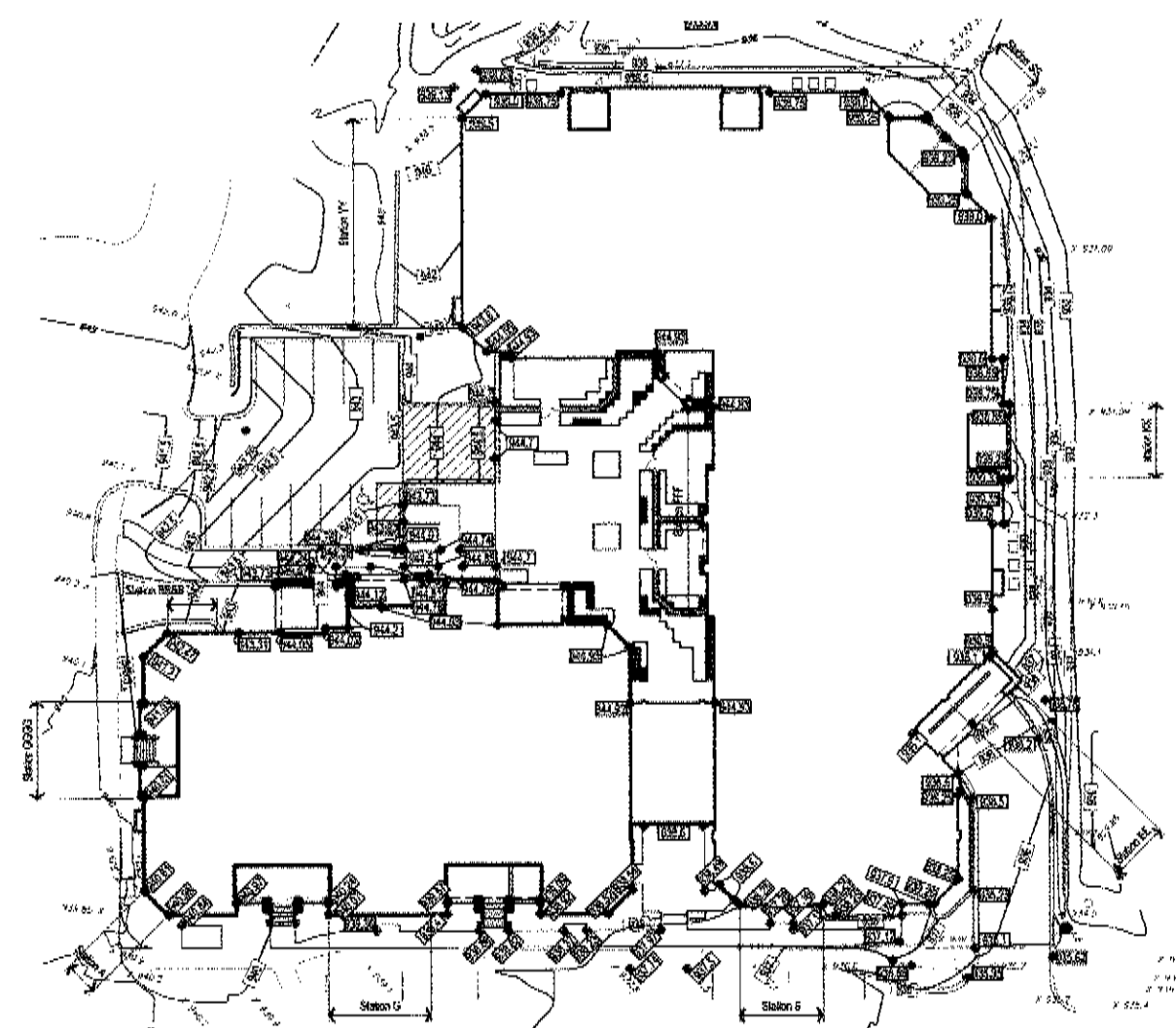
THE PARKING GARAGE FLOOR ELEVATION IS SET AT THE REVISED CITY MODELED WETLAND FLOOD ELEVATION OF 934.6. A PORTION OF THIS UNDERGROUND PARKING STRUCTURE IS BELOW THE SHARED COURTYARD TERRACE/AMENITY SPACE. BECAUSE THE PARKING GARAGE CEILING HEIGHT CANNOT BE LOWER DUE TO VAN ACCESSIBILITY REQUIREMENTS, THE COURTYARD TERRACE/AMENITY SPACE NEEDS TO BE HIGHER THAN EXISTING GRADES.

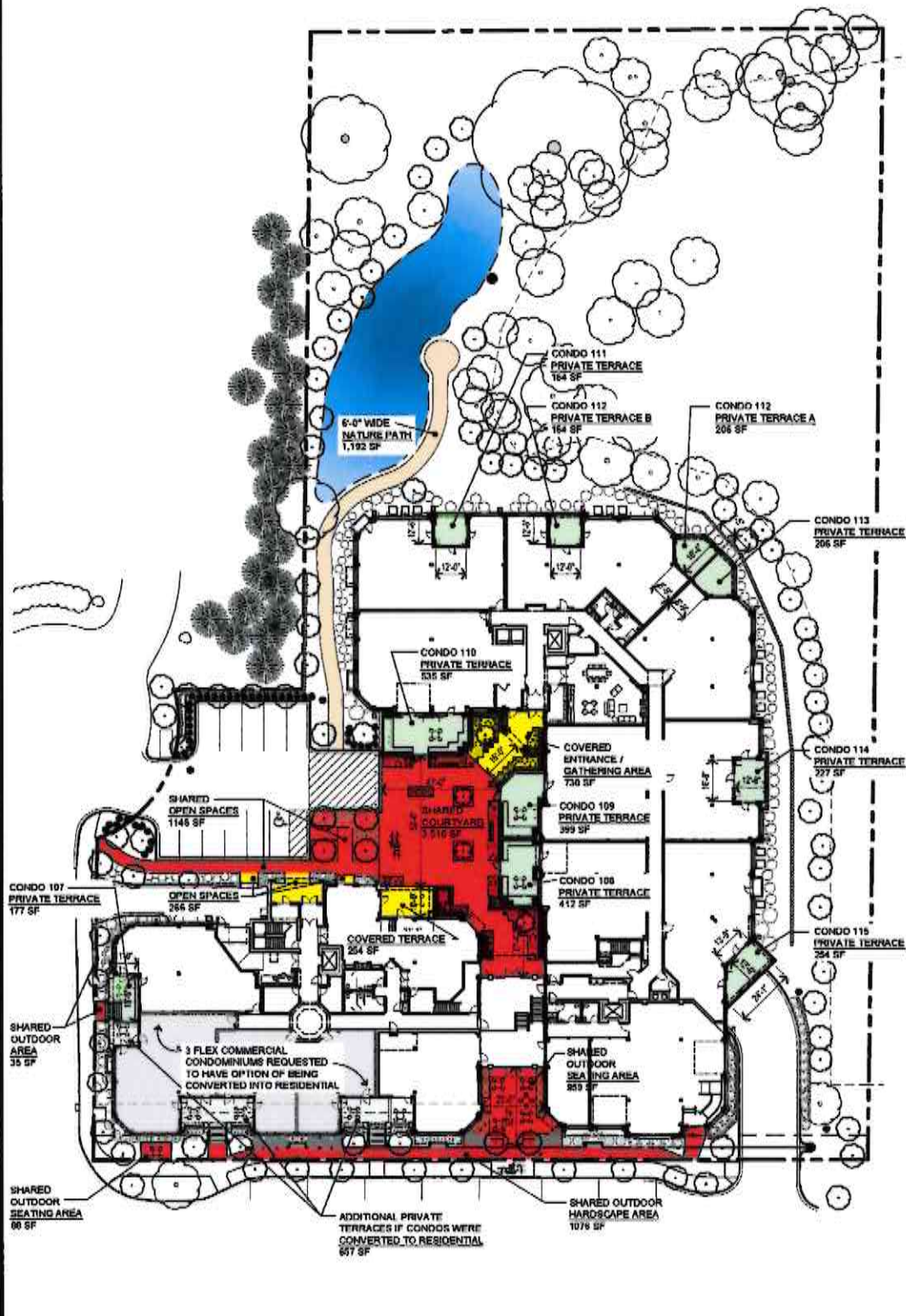
THE EFFECT OF THIS COURTYARD/AMENITY SPACE BEING SLIGHTLY HIGHER THAN EXISTING GRADES NECESSITATES THE DRIVEWAY FROM EDGEWOOD COURT AND ADJACENT BUILDING ENTRANCES TO ALSO BE SLIGHTLY ELEVATED HIGHER THAN EXISTING GRADES.

THESE FACTORS CAUSE THE PROPOSED AVERAGE GRADE PLANE TO BE 1.84 FEET HIGHER THAN THE EXISTING AVERAGE GRADE PLANE. GRADE IS NOT BEING RAISED TO INCREASE THE ALLOWABLE BUILDING HEIGHT.

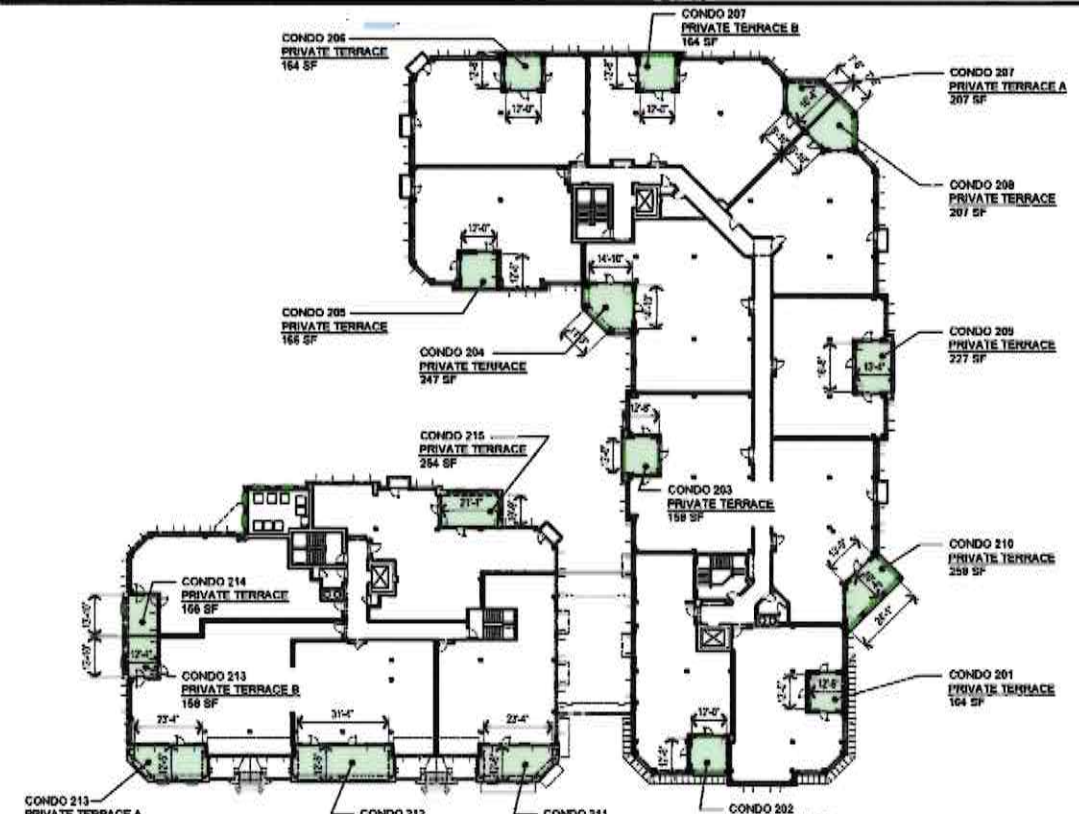
AVERAGE GRADE PLANE ELEVATION = 940.67 FEET WILL BE USED TO DETERMINE THE BUILDING HEIGHT. THIS IS THE AVERAGE GRADE ELEVATION THAT WAS APPROVED IN THE FIRST STAGE OF THE APPLICATION PROCEDURE, CONCEPT PLAN APPROVAL. THE CURRENT AVERAGE GRADE PLANE ELEVATION DEPICTED IN THIS PHASE OF THE PROJECT (GENERAL PLAN SUBMITTAL) IS 940.92 FEET (3" HIGHER). AVERAGE GRADE HAS NOT BEEN RAISED TO INCREASE THE BUILDING HEIGHT. BUILDING HEIGHT IS STILL BEING MEASURED TO THE LOWER AVERAGE GRADE PLANE ELEVATION CALLED OUT IN THE CONCEPT PLAN PHASE.

- REASONS FOR THE CURRENT AVERAGE GRADE PLANE ELEVATION BEING DIFFERENT IN THIS PHASE INCLUDE:
- CHANGES IN DESIGN DUE TO COUNCIL RESOLUTION COMMENTS DURING PHASE ONE OF THE PROJECT (CONCEPT APPROVAL)
 - PARKING LEVEL FLOOR ELEVATION WAS RAISED DUE TO THE CITY MODELED WETLAND FLOOD ELEVATION BEING RAISED 3 1/2" FROM THE PREVIOUS ELEVATION PROVIDED BY THE CITY.

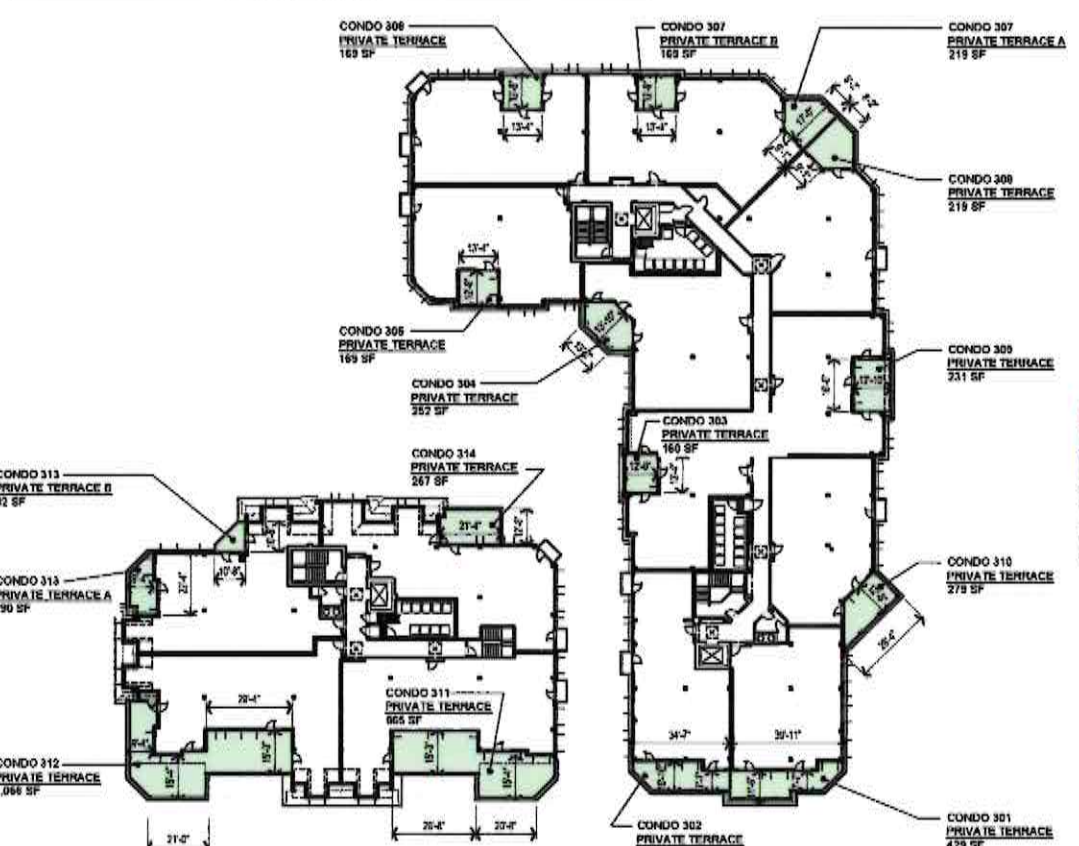




OPEN USABLE SPACE PLAN AT GROUND LEVEL



SECOND FLOOR PRIVATE TERRACES



THIRD FLOOR PRIVATE TERRACES

OPEN USABLE SPACE AREA CALCULATIONS

REQUIRED USABLE OPEN SPACE:
 800 SF OF USABLE SPACE REQUIRED FOR EACH DWELLING UNIT
 500 SF x 38 RESIDENTIAL CONDOS = 19,000 SF MINIMUM USABLE OPEN SPACE REQUIRED

PROPOSED USABLE OPEN SPACE CALCULATIONS:

GROUND LEVEL PRIVATE TERRACES INTENDED FOR USE BY INDIVIDUAL RESIDENTIAL CONDO UNITS:	
177 SF	CONDO 107 PRIVATE TERRACE
412 SF	CONDO 108 PRIVATE TERRACE
399 SF	CONDO 109 PRIVATE TERRACE
535 SF	CONDO 110 PRIVATE TERRACE
164 SF	CONDO 111 PRIVATE TERRACE A
206 SF	CONDO 112 PRIVATE TERRACE A
164 SF	CONDO 112 PRIVATE TERRACE B
206 SF	CONDO 113 PRIVATE TERRACE
227 SF	CONDO 114 PRIVATE TERRACE
254 SF	CONDO 115 PRIVATE TERRACE
2,744 SF	TOTAL

GROUND LEVEL SHARED OPEN SPACES DEDICATED FOR RESIDENTIAL CONDO UNITS AND FERDALE RIDGE OWNERS ONLY:	
1,192 SF	SHARED NATURE PATH

GROUND LEVEL SHARED OPEN SPACES DEDICATED FOR RESIDENTIAL CONDO UNIT OWNERS ONLY:	
254 SF	COVERED TERRACE AT WEST RESIDENCES CLUB ROOM
266 SF	COVERED ENTRANCE / SIDEWALKS AT WEST RESIDENCES
730 SF	COVERED ENTRANCE / GATHERING AREA AT EAST RESIDENCES ENTRANCE
1,250 SF	TOTAL

GROUND LEVEL SHARED OPEN SPACES FOR GENERAL PUBLIC USE AS WELL AS ALL BUILDING OCCUPANTS:	
2,510 SF	SHARED COURTYARD
950 SF	SHARED DRATING AREA
1,145 SF	SHARED OPEN SPACE / SIDEWALK AT PARKING WEST END
1,078 SF	SHARED SIDEWALK AREA AT LAKE STREET FRONTAGE
115 SF	SHARED SIDEWALK AREA AT EDGEWOOD COURT WEST END
950 SF	SHARED DRATING AREA AT LAKE STREET WEST END
4,813 SF	TOTAL

SECOND FLOOR PRIVATE TERRACES INTENDED FOR USE BY INDIVIDUAL RESIDENTIAL CONDO UNITS:	
164 SF	CONDO 201 PRIVATE TERRACE
160 SF	CONDO 202 PRIVATE TERRACE
158 SF	CONDO 203 PRIVATE TERRACE
247 SF	CONDO 204 PRIVATE TERRACE
166 SF	CONDO 205 PRIVATE TERRACE
164 SF	CONDO 206 PRIVATE TERRACE
207 SF	CONDO 207 PRIVATE TERRACE A
164 SF	CONDO 207 PRIVATE TERRACE B
207 SF	CONDO 208 PRIVATE TERRACE
227 SF	CONDO 209 PRIVATE TERRACE
254 SF	CONDO 210 PRIVATE TERRACE
233 SF	CONDO 211 PRIVATE TERRACE
415 SF	CONDO 212 PRIVATE TERRACE
283 SF	CONDO 213 PRIVATE TERRACE A
188 SF	CONDO 213 PRIVATE TERRACE B
168 SF	CONDO 214 PRIVATE TERRACE
234 SF	CONDO 215 PRIVATE TERRACE
3,593 SF	TOTAL

THIRD FLOOR PRIVATE TERRACES INTENDED FOR USE BY INDIVIDUAL RESIDENTIAL CONDO UNITS:	
428 SF	CONDO 301 PRIVATE TERRACE
325 SF	CONDO 302 PRIVATE TERRACE
160 SF	CONDO 303 PRIVATE TERRACE
202 SF	CONDO 304 PRIVATE TERRACE
189 SF	CONDO 305 PRIVATE TERRACE
189 SF	CONDO 306 PRIVATE TERRACE
218 SF	CONDO 307 PRIVATE TERRACE A
169 SF	CONDO 307 PRIVATE TERRACE B
219 SF	CONDO 308 PRIVATE TERRACE A
231 SF	CONDO 308 PRIVATE TERRACE B
275 SF	CONDO 309 PRIVATE TERRACE
869 SF	CONDO 310 PRIVATE TERRACE
1066 SF	CONDO 312 PRIVATE TERRACE
180 SF	CONDO 313 PRIVATE TERRACE A
82 SF	CONDO 313 PRIVATE TERRACE B
267 SF	CONDO 314 PRIVATE TERRACE
6,091 SF	TOTAL

SUMMARY	
32.8%	(6,813 SF) OF ALL OPEN SPACES PROVIDED ARE OPEN TO THE GENERAL PUBLIC
0.7%	(1,192 SF) OF ALL OPEN SPACES PROVIDED ARE SHARED BY BUILDING RESIDENTS AND FERDALE RIDGE RESIDENTS
6.0%	(1,250 SF) OF ALL OPEN SPACES PROVIDED ARE SHARED BY BUILDING RESIDENTS ONLY
36.5%	(11,528 SF) OF ALL OPEN SPACES PROVIDED ARE PRIVATE RESIDENTIAL CONDO TERRACES (INDIVIDUAL CONDO USAGE ONLY)
20,783 SF GRAND TOTAL OF ALL USABLE OPEN SPACES PROVIDED	
IF 3 OF THE COMMERCIAL CONDOS WERE TO BE CONVERTED TO RESIDENTIAL UNITS: 20,500 SF MINIMUM WOULD BE REQUIRED (600 SF x 41 RESIDENTIAL CONDOS) 21,440 SF WOULD BE PROVIDED (20,783 SF + 657 SF ADDITIONAL PRIVATE TERRACES)	

OPERATING AND MAINTENANCE OF COMMON OPEN SPACES

THE HOME OWNERS ASSOCIATION (HOA) WILL BE RESPONSIBLE FOR THE CARE AND MAINTENANCE OF ALL COMMON PRIVATE OR PUBLIC OPEN SPACES INDICATED ON THE OPEN USABLE SPACE PLANS AND PRIVATE TERRACE PLANS.



INDOOR PARKING STALLS PROVIDED
 61 STANDARD STALLS
 4 HANDICAP STALLS
 17 COMPACT STALLS (17%)
 102 TOTAL INDOOR PARKING STALLS

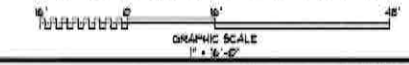
← WEST RESIDENCES | ATRIUM | EAST RESIDENCES →

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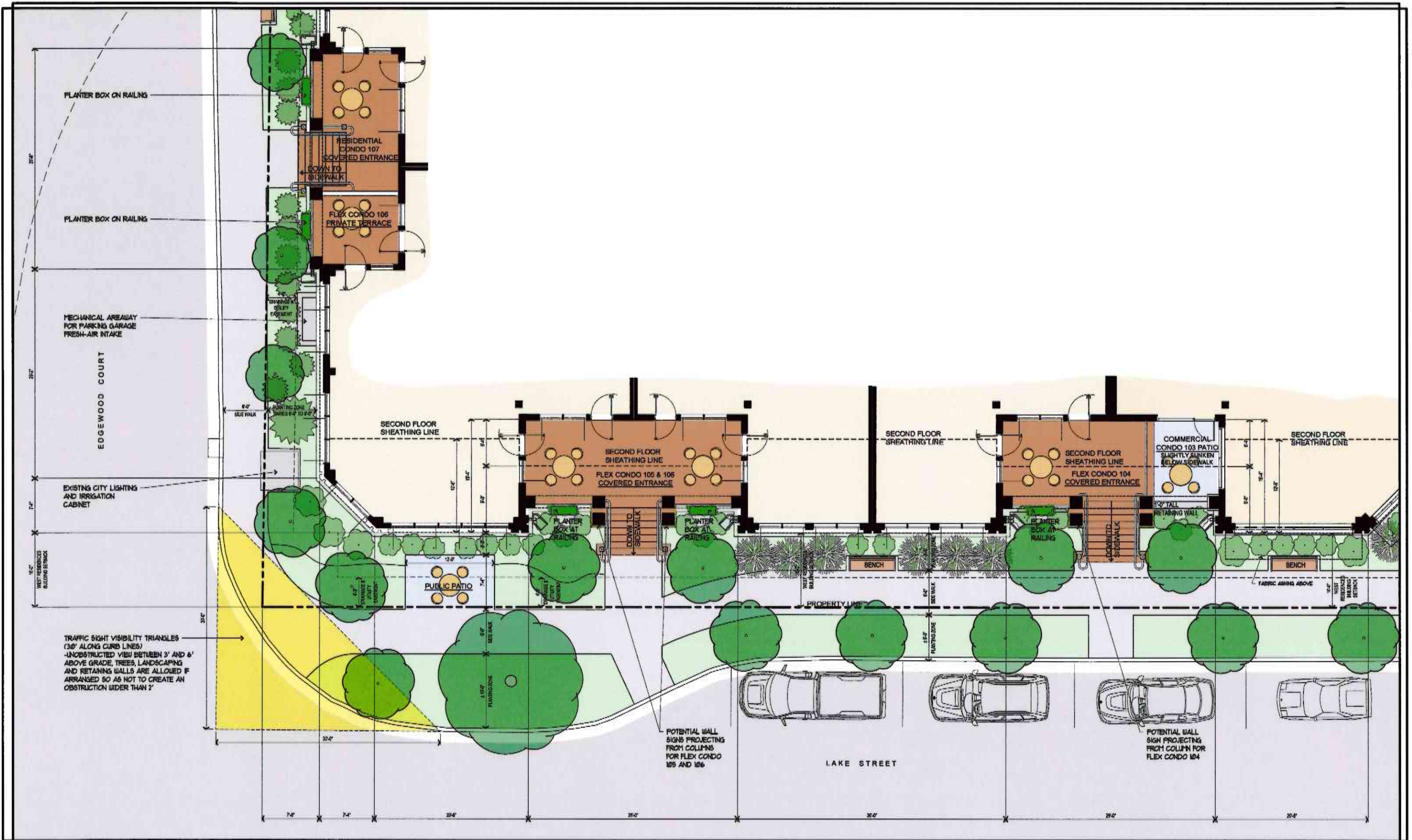
WESTWAY CONDOMINIUMS

201 LAKE STREET EAST, WAYZATA, MINNESOTA

PARKING LEVEL



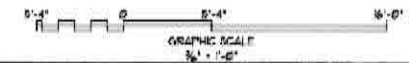
PUD GENERAL PLAN
 REVISED JUNE 28, 2023



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 320 MARION AVENUE SOUTH
 WAYZATA, MINNESOTA 55394
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 ARCHITECTS

WESTWAY CONDOMINIUMS
 201 LAKE STREET EAST, WAYZATA, MINNESOTA

STREETScape AT EDGEWOOD COURT



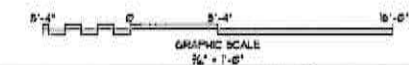
PUD GENERAL PLAN
 REVISED JUNE 28, 2023



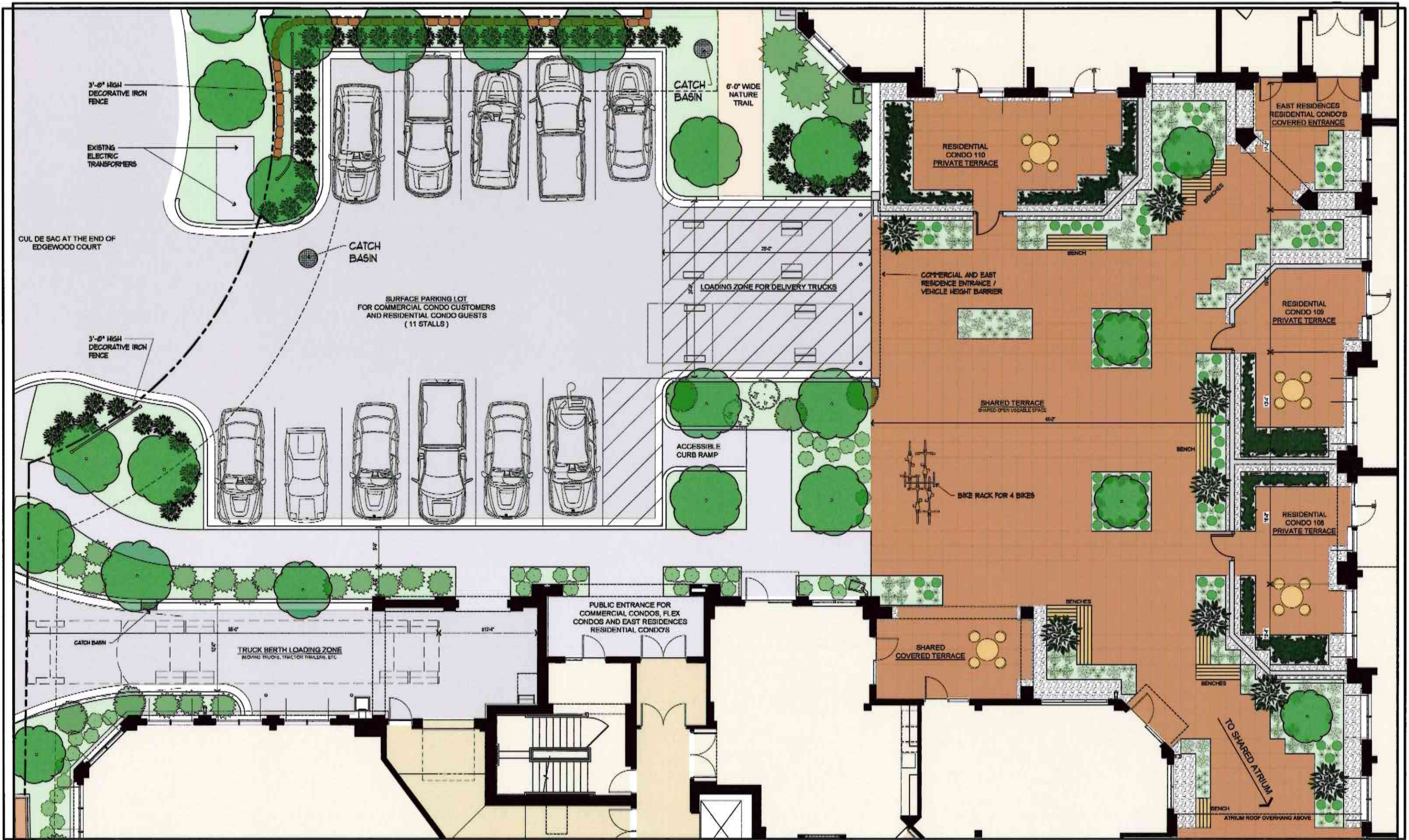
BRUCE W. SCHMITT & ASSOCIATES P.A.
 350 HARTODA AVENUE ACQUITT
 WAYZATA, MINNESOTA 55194
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WESTWAY CONDOMINIUMS
 201 LAKE STREET EAST, WAYZATA, MINNESOTA

STREETSCAPE AT ATRIUM



PUD GENERAL PLAN
 REVISED JUNE 28, 2023



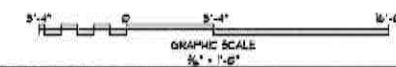
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WESTWAY CONDOMINIUMS

201 LAKE STREET EAST, WAYZATA, MINNESOTA

TERRACE AND SURFACE PARKING



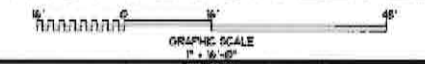
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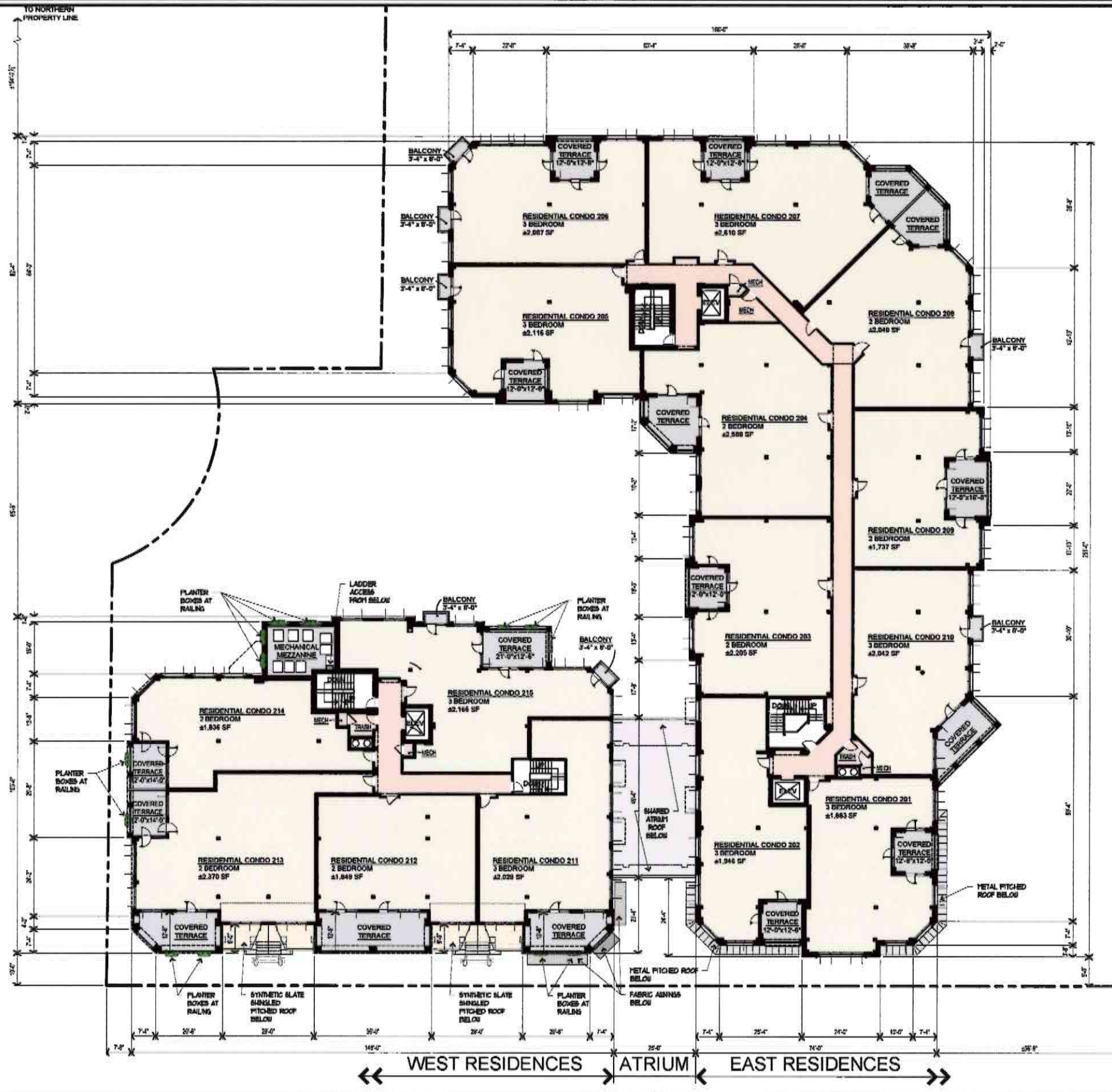
BRUCE W. SCHMITT & ASSOCIATES P.A.
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WESTWAY CONDOMINIUMS
 201 LAKE STREET EAST, WAYZATA, MINNESOTA

FIRST FLOOR LEVEL



PUD GENERAL PLAN
 REVISED JUNE 28, 2023

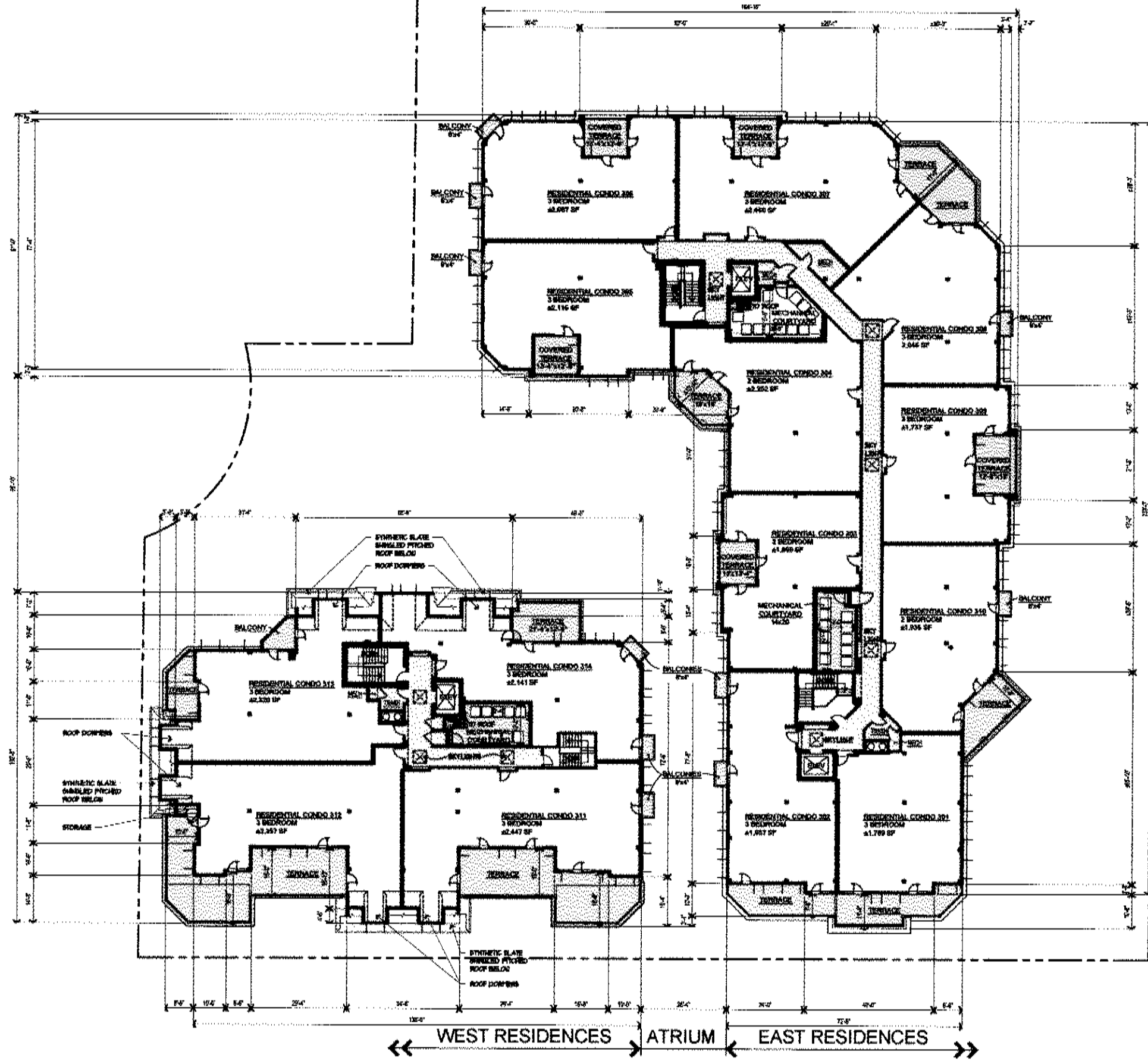


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WESTWAY CONDOMINIUMS
 201 LAKE STREET EAST, WAYZATA, MINNESOTA

SECOND FLOOR LEVEL
 NORTH
 GRAPHIC SCALE
 1" = 16'-0"

PUD GENERAL PLAN
 REVISED JUNE 28, 2023



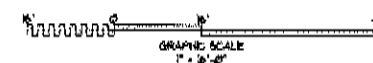
BRUCE W. SCHMITT & ASSOCIATES P.A.
 210 MARICOPA AVENUE, SUITE 101
 WAYZATA, MINNESOTA 55198
 Phone: (952) 476-6222 Fax: (952) 476-6222
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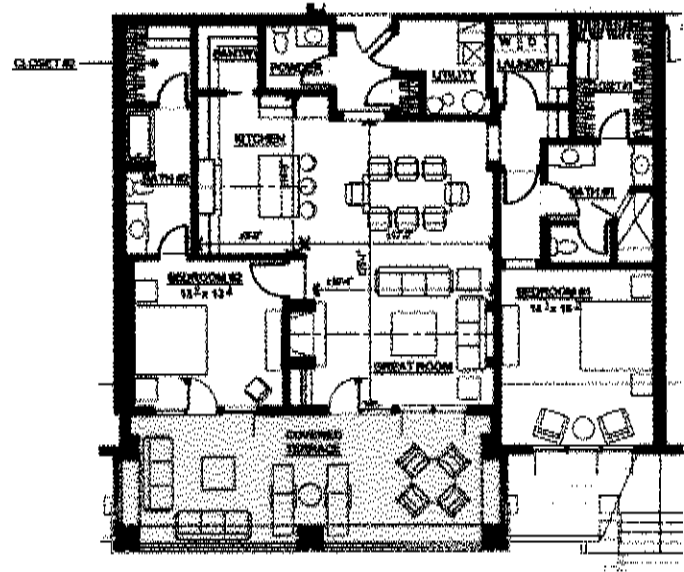
WESTWAY CONDOMINIUMS

201 LAKE STREET EAST, WAYZATA, MINNESOTA

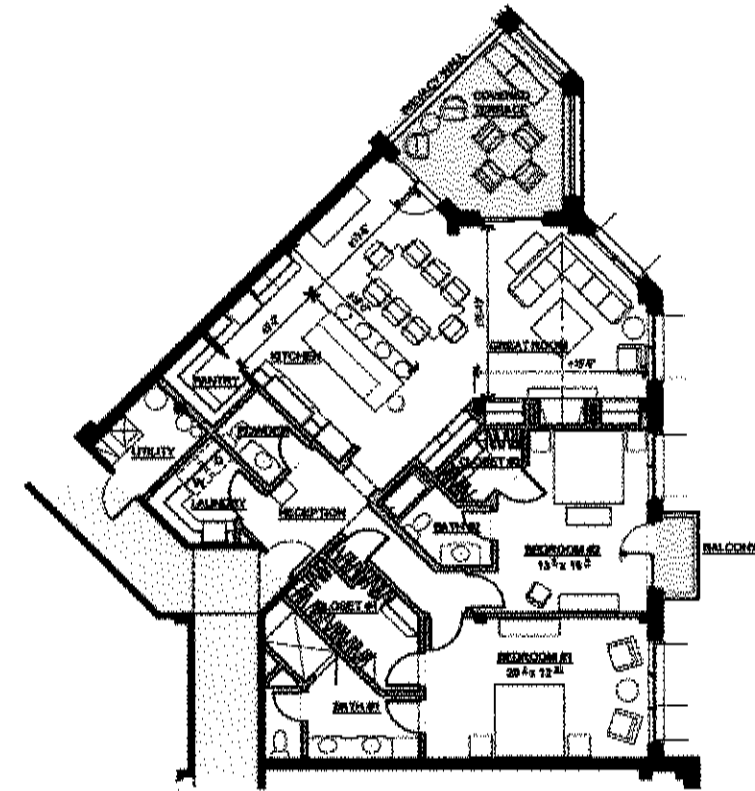
THIRD FLOOR LEVEL



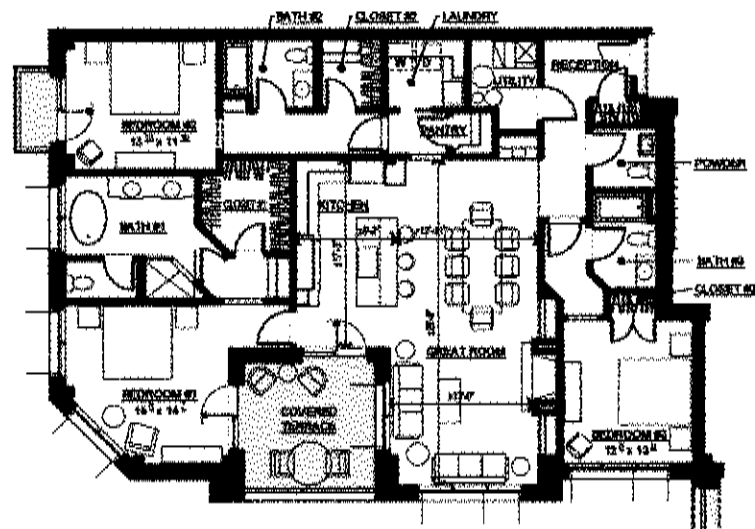
PUD GENERAL PLAN
 REVISED JUNE 28, 2023



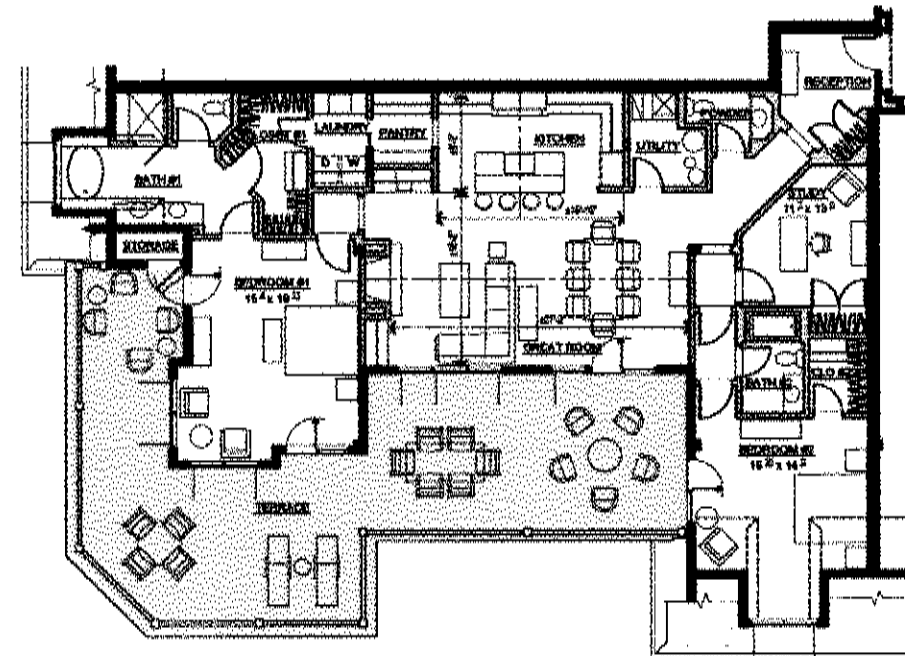
SAMPLE LAYOUT FOR A 2 BEDROOM RESIDENTIAL CONDOMINIUM
RESIDENTIAL CONDO 212 (±1,848 SF)



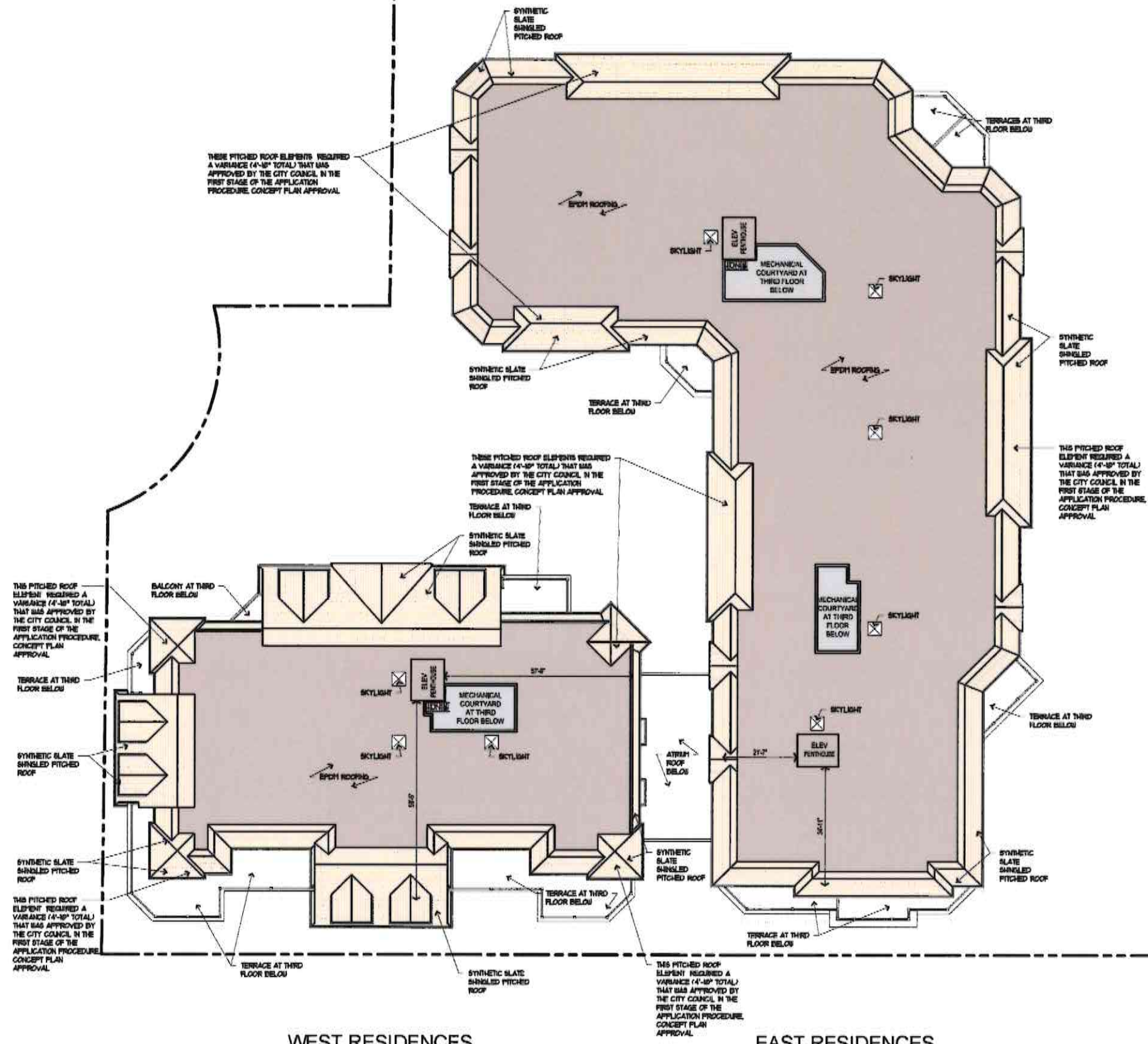
SAMPLE LAYOUT FOR A 2 BEDROOM RESIDENTIAL CONDOMINIUM WITH BALCONY
RESIDENTIAL CONDO 208 (±2,048 SF)



SAMPLE LAYOUT FOR A 3 BEDROOM RESIDENTIAL CONDOMINIUM
RESIDENTIAL CONDO 205 (±2,116 SF)



SAMPLE LAYOUT FOR A 2 BEDROOM + STUDY RESIDENTIAL CONDOMINIUM
RESIDENTIAL CONDO 312 (±2,357 SF)



WEST RESIDENCES

EAST RESIDENCES

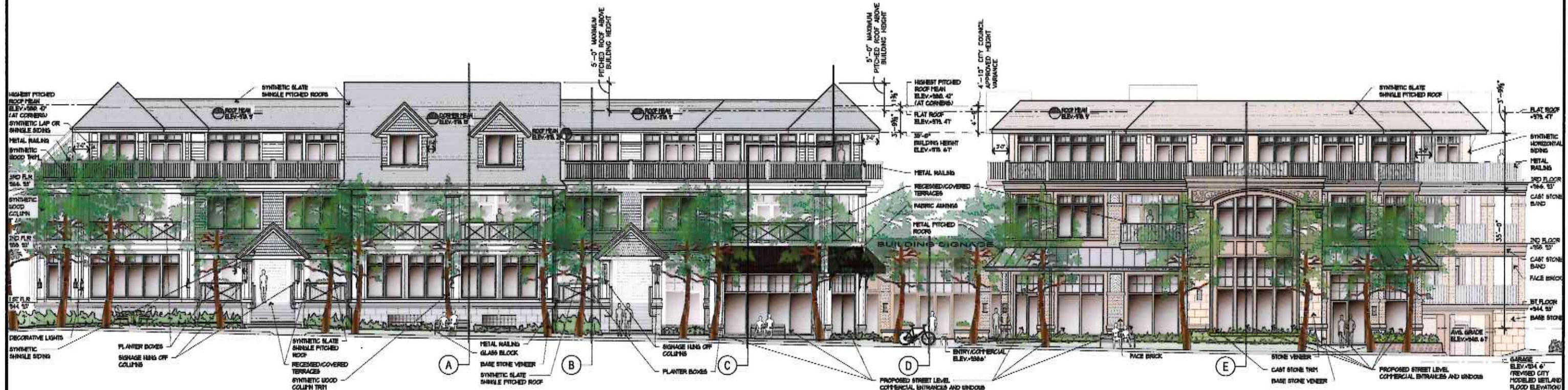
BRUCE W. SCHMITT & ASSOCIATES P.A.
 3910 MANITOWA AVENUE ACQUIN
 WAYZATA, MINNESOTA 55194
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WESTWAY CONDOMINIUMS
 201 LAKE STREET EAST, WAYZATA, MINNESOTA

ROOF LEVEL



PUD GENERAL PLAN
 REVISED JUNE 28, 2023



SOUTH ELEVATION WEST RESIDENCES

BUILDING BASE MATERIAL:
NATURAL STONE HEIGHT VARIES FROM 2'-3" TO 3'-0" ALONG LAKE STREET FRONTAGE
(2'-0" TO 3'-0" MINIMUM HEIGHT REQUIRED)

SECOND LEVEL FACADE TRANSPARENCY
(CALCULATED FROM FIRST FLOOR FLOOR ELEVATION TO SECOND FLOOR FLOOR ELEVATION OR ROOF FASCIA AT PITCHED ROOFS)
FRONTING LAKE STREET SIDE MINIMUM REQUIRED:
1691 SF = 35.1% TRANSPARENCY (GLASS)
3111 SF = 44.3% SOLID MATERIALS
7804 SF = 100% TOTAL AREA

BUILDING MATERIALS

SOUTH ELEVATION - WEST + EAST RESIDENCES	
3%	750 SF • BRICK
7%	648 SF • STONE VENEER/BLAZE
3%	970 SF • CAST STONE
34.3%	3024 SF • GLASS
77%	7300 SF • SYNTHETIC WOOD SIDING + TRIM
2.4%	240 SF • METAL ROOFS
1.3%	130 SF • FABRIC AWNINGS
0.5%	1070 SF • SYNTHETIC SLATE SHINGLES
100%	19566 SF • TOTAL

SOUTH ELEVATION EAST RESIDENCES

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WESTWAY CONDOMINIUMS
201 LAKE STREET EAST, WAYZATA, MINNESOTA

EXTERIOR ELEVATION
GRAPHIC SCALE
1" = 8'-0"

PUD GENERAL PLAN
REVISED JULY 17, 2023



GROUND LEVEL FACADE TRANSPARENCY
 (CALCULATED FROM FIRST FLOOR FLOOR ELEVATION TO SECOND
 FLOOR FLOOR ELEVATION OR ROOF FASCIA AT PITCHED ROOF)
 FRONTING EDGEWOOD COURT (20% FINISH REQUIRED)
 308 SF + 6% = TRANSPARENCY (GLASS)
 321 SF + 5% = SOLID MATERIALS
 649 SF + 100% = TOTAL AREA

WEST ELEVATION

WEST RESIDENCES

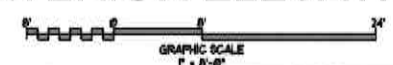
BELOW BASE MATERIAL:
 NATURAL STONE, HEIGHT VARIES FROM 3'-6" TO 4'-6" ALONG EDGEWOOD COURT FRONTAGE
 (2'-0" TO 3'-0" MINIMUM HEIGHT REQUIRED)

BUILDING MATERIALS	
WEST ELEVATION - WEST RESIDENCES	
0%	0 SF + BRICK
7%	240 SF + STONE BASE
2%	71 SF + CASI STONE
25%	841 SF + GLASS
44%	1500 SF + SYNTHETIC WOOD SIDING + TRIM
0%	0 SF + METAL ROOFS
0%	0 SF + FABRIC AWNINGS
18%	636 SF + SYNTHETIC SLATE SHINGLES
100%	3398 SF + TOTAL

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 201 LAKE STREET EAST, WAYZATA, MINNESOTA

EXTERIOR ELEVATION



PUD GENERAL PLAN
 REVISED JULY 17, 2023



GROUND LEVEL FACADE TRANSPARENCY
 (CALCULATED FROM FIRST FLOOR ELEVATION TO SECOND
 FLOOR FLOOR ELEVATION OR ROOF FASCIA AT PITCHED ROOFS)
 INCLUDING OPEN SPACES/PARKING (20% TRANSPARENCY REQUIRED)
 530 SF = 53.2% TRANSPARENCY (GLASS)
 354 SF = 66.8% SOLID MATERIALS
 822 SF = 100% TOTAL AREA

NORTH ELEVATION WEST RESIDENCES

BUILDING MATERIALS	
NORTH ELEVATION - WEST RESIDENCES	
6%	32 SF - BRICK
8%	42 SF - STONE BASE
1.2%	60 SF - CAST STONE
3%	120 SF - GLASS
41.2%	7608 SF - SYNTHETIC WOOD SIDING + TRIM
1%	50 SF - METAL ROOFS
0%	0 SF - FABRIC AWINGS
9.7%	1873 SF - SYNTHETIC SLATE SHINGLES
100%	3608 SF - TOTAL

BRUCE W. SCHMITT & ASSOCIATES P.A.
 300 HANTODA AVENUE SOUTH
 WAYZATA, MINNESOTA 55391
 Phone: (952) 476-6000 Fax: (952) 476-6008
 www.BWSCHEMTEL.com

WESTWAY CONDOMINIUMS

201 LAKE STREET EAST, WAYZATA, MINNESOTA

EXTERIOR ELEVATION
 GRAPHIC SCALE
 1" = 8'-0"

PUD GENERAL PLAN
 REVISED JULY 17, 2023

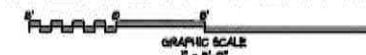


EAST ELEVATION

WEST RESIDENCES

BUILDING MATERIALS	
EAST ELEVATION - WEST RESIDENCES	
3%	84 SF • BRICK
.6%	71 SF • STONE BASE
2%	93 SF • CAST STONE
42%	138 SF • GLASS
42%	129 SF • SYNTHETIC WOOD SIDING + 1101
0%	0 SF • METAL ROOFS
4%	129 SF • FABRIC ASHINGS
8.4%	243 SF • SYNTHETIC SLATE SHINGLES
100%	2833 SF • TOTAL

GROUND LEVEL FACADE TRANSPARENCY
 (CALCULATED FROM FIRST FLOOR ELEVATION TO SECOND
 FLOOR FLOOR ELEVATION OR ROOF PARGEA AT PITCHED ROOFS)
 FRONTING OPEN SPACE (25% MINIMUM REQUIRED)
 361 SF • 45% • TRANSPARENCY (GLASS)
 371 SF • 55% • SOLID MATERIALS
 732 SF • 100% • TOTAL AREA





GROUND LEVEL FACADE TRANSPARENCY
 (CALCULATED FROM FIRST FLOOR FLOOR ELEVATION TO SECOND
 FLOOR FLOOR ELEVATION OR ROOF FASCIA AT PITCHED ROOFS/
 FRONTING OPEN SPACE (ISA MINIMUM REQUIRED))
 645 SF = 41% = TRANSPARENCY (GLASS)
 714 SF = 53% = SOLID MATERIALS
 1405 SF = 100% = TOTAL AREA

WEST ELEVATION

EAST RESIDENCES -AT SHARED OPEN SPACE

BUILDING MATERIALS	
WEST ELEVATION -EAST RESIDENCES	
6%	331 SF • BRICK
7%	425 SF • STONE BASE
20%	1055 SF • CAST STONE
34%	2156 SF • GLASS
14%	845 SF • SYNTHETIC WOOD SIDING + TRIM
2%	102 SF • METAL ROOFS
0%	0 SF • FABRIC AWNINGS
15%	855 SF • SYNTHETIC SLATE SHINGLES
100%	5,647 SF • TOTAL

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WESTWAY CONDOMINIUMS
 201 LAKE STREET EAST, WAYZATA, MINNESOTA

EXTERIOR ELEVATION
 GRAPHIC SCALE
 1" = 8'-0"

PUD GENERAL PLAN
 REVISED JULY 17, 2023



GROUND LEVEL FACADE TRANSPARENCY
 (CALCULATED FROM FIRST FLOOR FLOOR ELEVATION TO SECOND
 FLOOR FLOOR ELEVATION OR ROOF FASCIA AT PITCHED ROOF)
 FRONTING OPEN SPACE (75% MINIMUM REQUIRED)
 300 SF + 35.5% = TRANSPARENCY (GLASS)
 856 SF + 64.5% = SOLID MATERIALS
 856 SF + 100% = TOTAL AREA

SOUTH ELEVATION

EAST RESIDENCES

BUILDING MATERIALS	
SOUTH ELEVATION - EAST RESIDENCES	
6%	161 SF • BRICK
13%	373 SF • STONE BASE
30%	415 SF • CAST STONE
34%	926 SF • GLASS
10%	372 SF • SYNTHETIC WOOD SIDING + TRIM
6%	12 SF • METAL ROOFING
6%	12 SF • FABRIC AWNING
7%	461 SF • SYNTHETIC SLATE SHINGLES
100%	2,134 SF • TOTAL

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WESTWAY CONDOMINIUMS

201 LAKE STREET EAST, WAYZATA, MINNESOTA

EXTERIOR ELEVATION

GRAPHIC SCALE
1" = 8'-0"

PUD GENERAL PLAN
 REVISED JULY 17, 2023



WEST ELEVATION

EAST RESIDENCES -AT PATH

BUILDING MATERIALS	
WEST ELEVATION -EAST RESIDENCES	
6%	331 SF • BRICK
7%	429 SF • STONE BASE
20%	365 SF • CAST STONE
36%	701 SF • GLASS
5%	861 SF • SYNTHETIC WOOD SIDING 4 TRM
2%	10 SF • METAL ROOFING
0%	0 SF • FABRIC AWNING
16%	855 SF • SYNTHETIC SLATE SHINGLES
100%	5,886 SF • TOTAL

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WESTWAY CONDOMINIUMS
 201 LAKE STREET EAST, WAYZATA, MINNESOTA

EXTERIOR ELEVATION



PUD GENERAL PLAN
 REVISED JULY 17, 2023



NORTH ELEVATION
EAST RESIDENCES

BUILDING MATERIALS	
NORTH ELEVATION - EAST RESIDENCES	
3%	31 SF • BRICK
35%	1009 SF • STONE BASE
38%	1099 SF • CAST STONE
33%	770 SF • GLASS
1%	734 SF • SYNTHETIC WOOD SIDING + TRIM
0%	0 SF • METAL HOOP (PARAMET)
0%	0 SF • FABRIC AWNINGS
2%	288 SF • SYNTHETIC SLATE SHINGLES
100%	6,834 SF • TOTAL

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WESTWAY CONDOMINIUMS
201 LAKE STREET EAST, WAYZATA, MINNESOTA

EXTERIOR ELEVATION



PUD GENERAL PLAN
REVISED JULY 17, 2023



EAST ELEVATION
EAST RESIDENCES

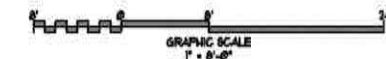
BUILDING MATERIALS	
EAST ELEVATION - EAST RESIDENCES	
8%	838 SF - BRICK
12.4%	1063 SF - STONE BASE
27%	238 SF - CAST STONE
37%	3330 SF - GLASS
1%	148 SF - SYNTHETIC WOOD SIDING + TRIM
1.6%	165 SF - METAL ROOFS
0%	0 SF - FABRIC AWNINGS
13%	1173 SF - SYNTHETIC SLATE SHINGLES
100%	6203 SF - TOTAL

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WESTWAY CONDOMINIUMS
201 LAKE STREET EAST, WAYZATA, MINNESOTA

EXTERIOR ELEVATION



PUD GENERAL PLAN
REVISED JULY 17, 2023



West Residences Railing & Flashing

West Residences Awnings

East Residences Railing, Flashing & Handrail System Metal Roof Casings at Commercial Entrances

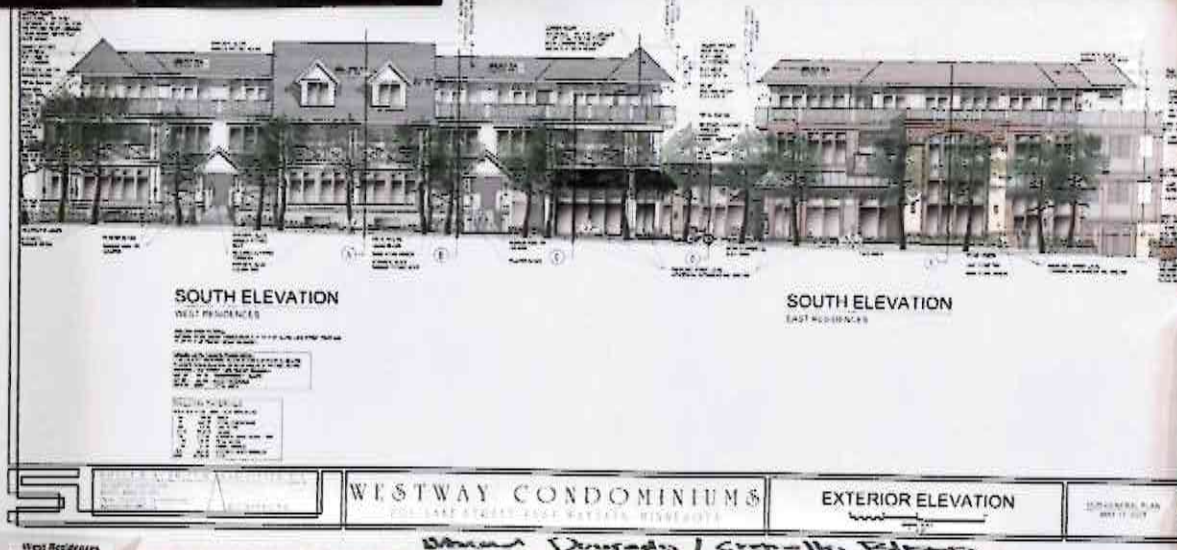
West Residences Roof Shingles

East Residences Roof Shingles

East Residences Residential Windows

East Residences Trim & Roof Fasia

East Residences Lap Siding at Upper Level



West Residences Residential Windows

WESTWAY CONDOMINIUMS

EXTERIOR ELEVATION

SECTIONAL PLAN

Material Durado / Cimello Blend

Atrium & East Residences Brick

West Residences Stone Veneer Cap

Atrium & East Residences Commercial Windows

West Residences Commercial Windows

West Residences Stone Veneer

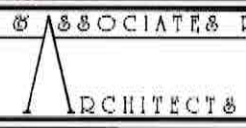
Atrium & East Residences Stone Trim and Veneer Cap

East Residences Stone Veneer

West Residences Shingle Siding

West Residences Trim & Roof Fasia

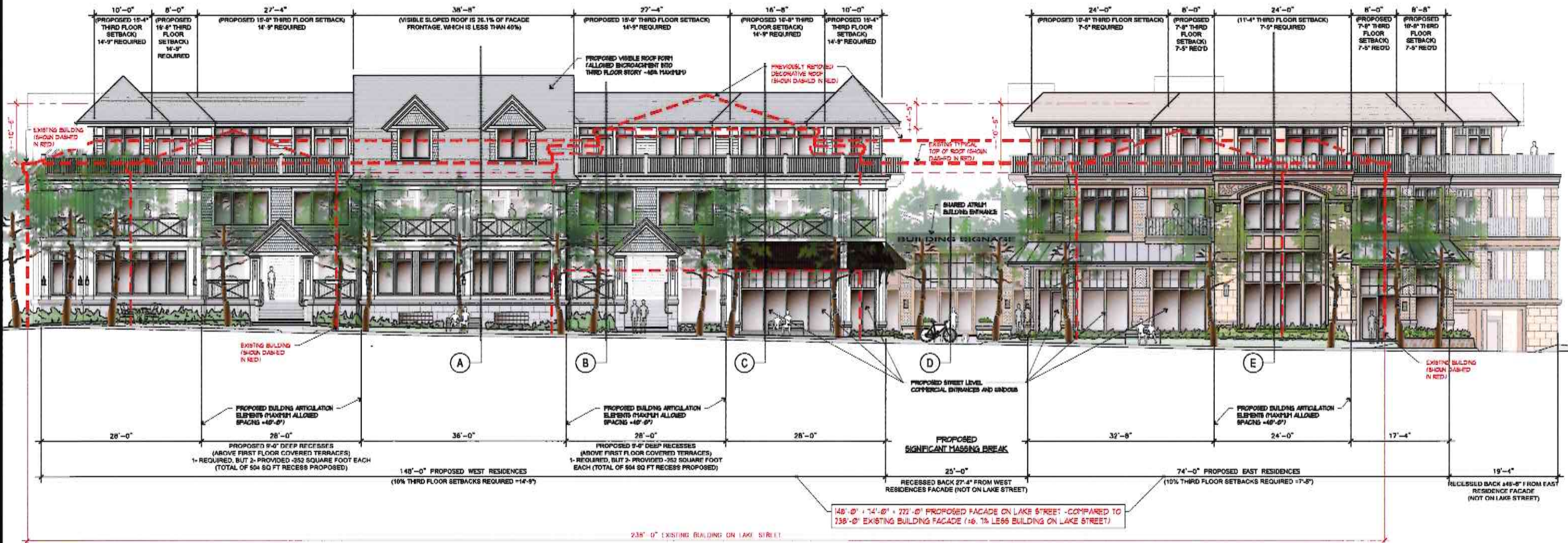
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WESTWAY CONDOMINIUMS
 201 LAKE STREET EAST, WAYZATA, MINNESOTA

EXTERIOR FINISH MATERIALS

PUD GENERAL PLAN
 REVISED JULY 17, 2023



SOUTH ELEVATION
WEST RESIDENCES

SOUTH ELEVATION
EAST RESIDENCES

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WESTWAY CONDOMINIUMS
201 LAKE STREET EAST, WAYZATA, MINNESOTA

PROPOSED BUILDING MASSING AND THIRD FLOOR SETBACKS

GRAPHIC SCALE
1" = 10'-0"

PUD GENERAL PLAN
REVISED JULY 17, 2023



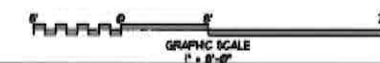
WEST ELEVATION
WEST RESIDENCES

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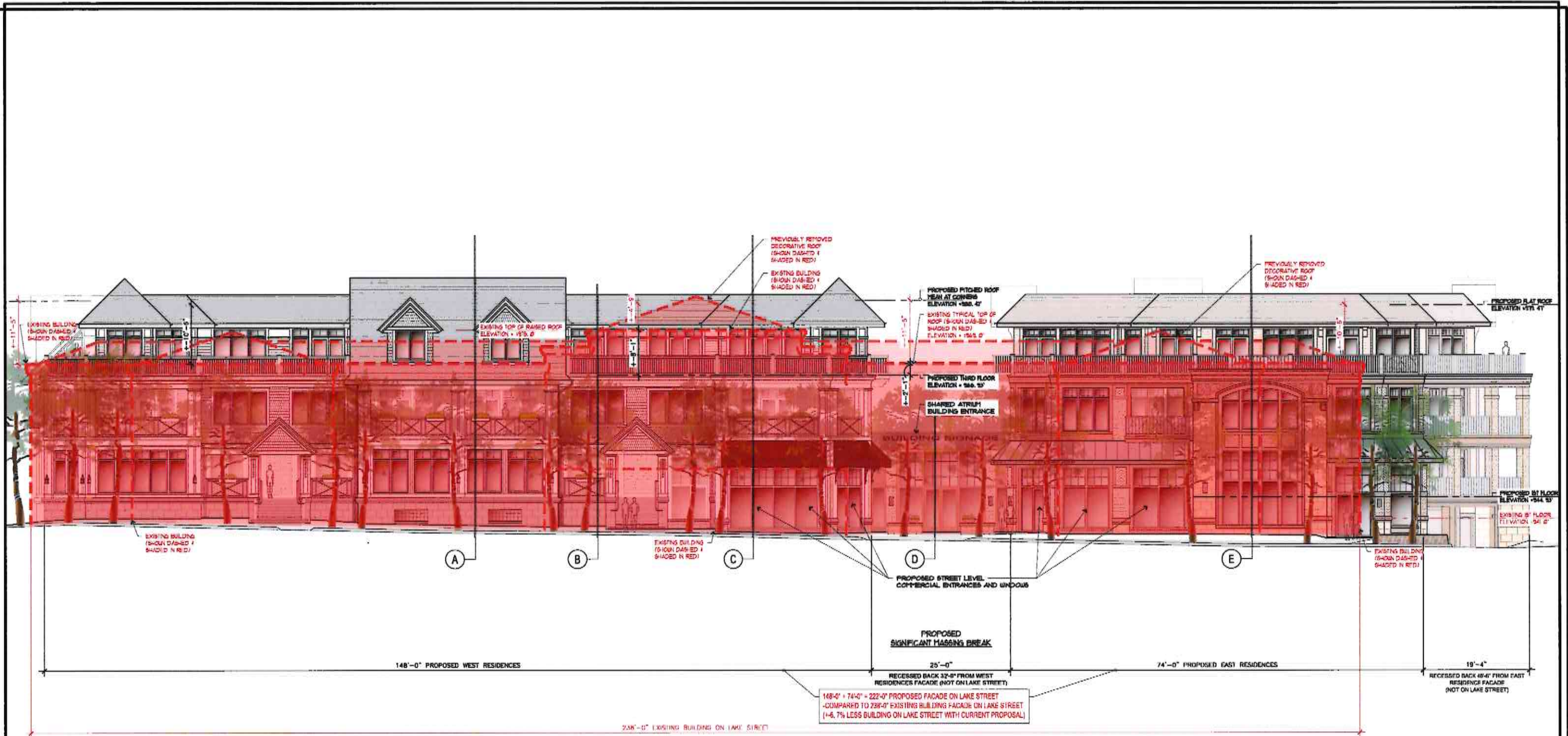


WESTWAY CONDOMINIUMS
201 LAKE STREET EAST, WAYZATA, MINNESOTA

PROPOSED BUILDING MASSING
AND THIRD FLOOR SETBACKS



PUD GENERAL PLAN
REVISED JULY 17, 2023



SOUTH ELEVATION
WEST RESIDENCES

SOUTH ELEVATION
EAST RESIDENCES

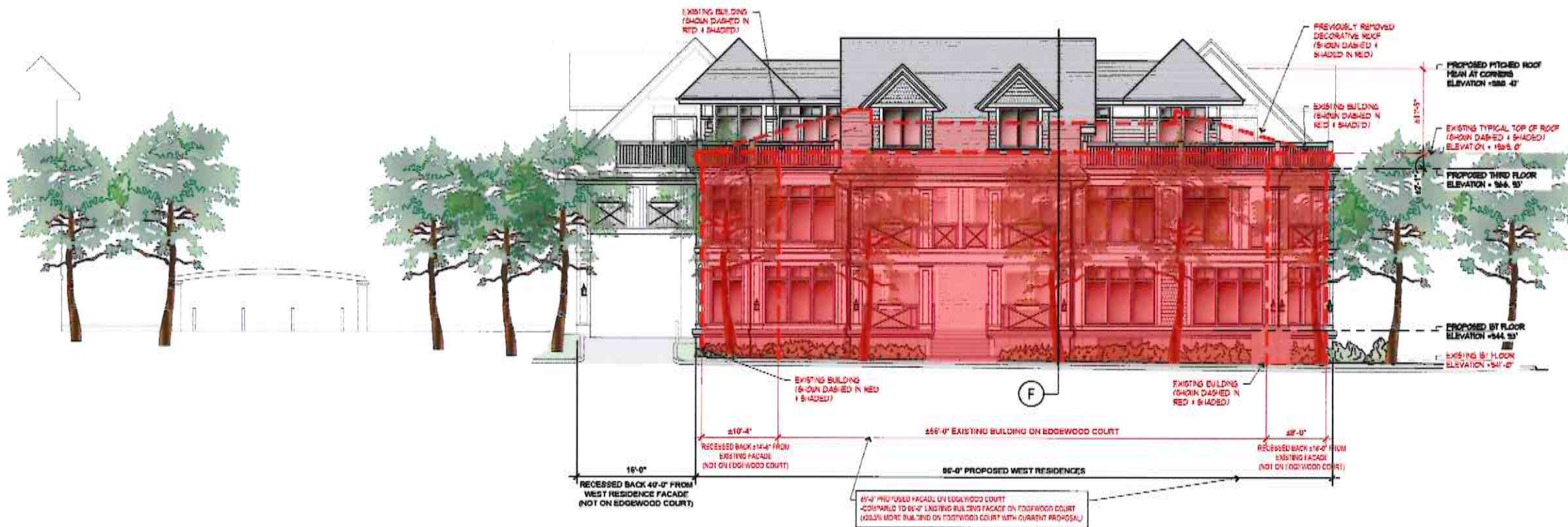
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WESTWAY CONDOMINIUMS
201 LAKE STREET EAST, WAYZATA, MINNESOTA

BUILDING COMPARISON
PROPOSED BUILDING VERSUS EXISTING BUILDING



PUD GENERAL PLAN
REVISED JULY 17, 2023



WEST ELEVATION
WEST RESIDENCES

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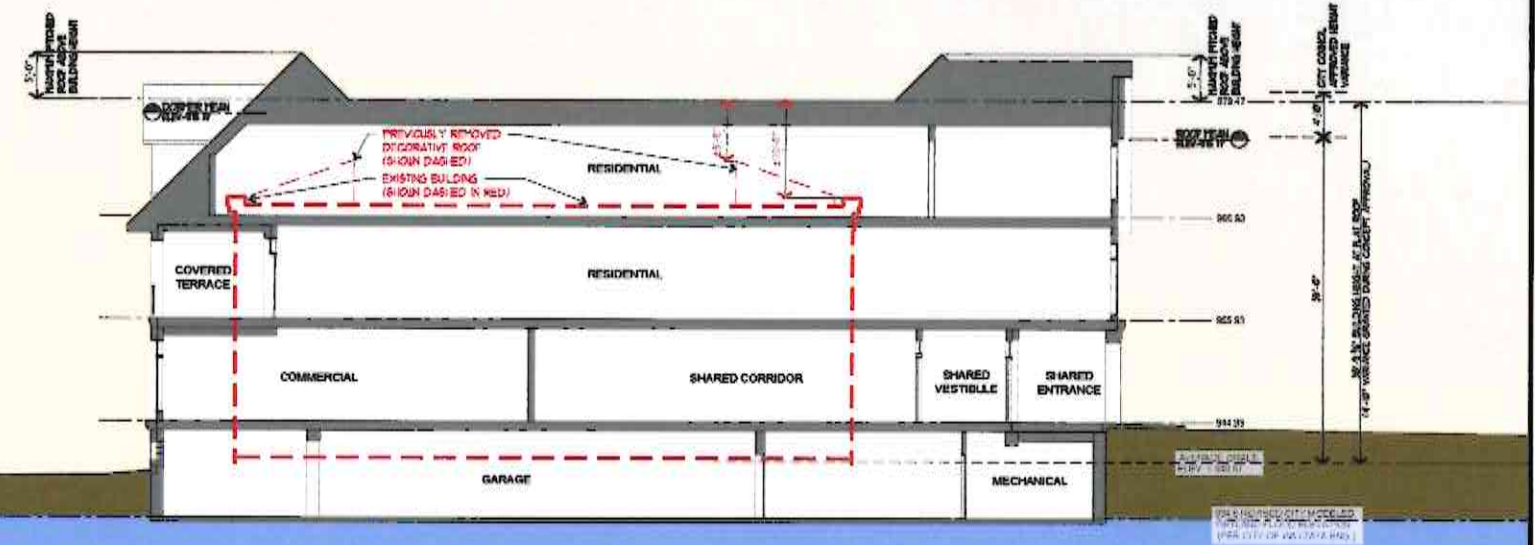
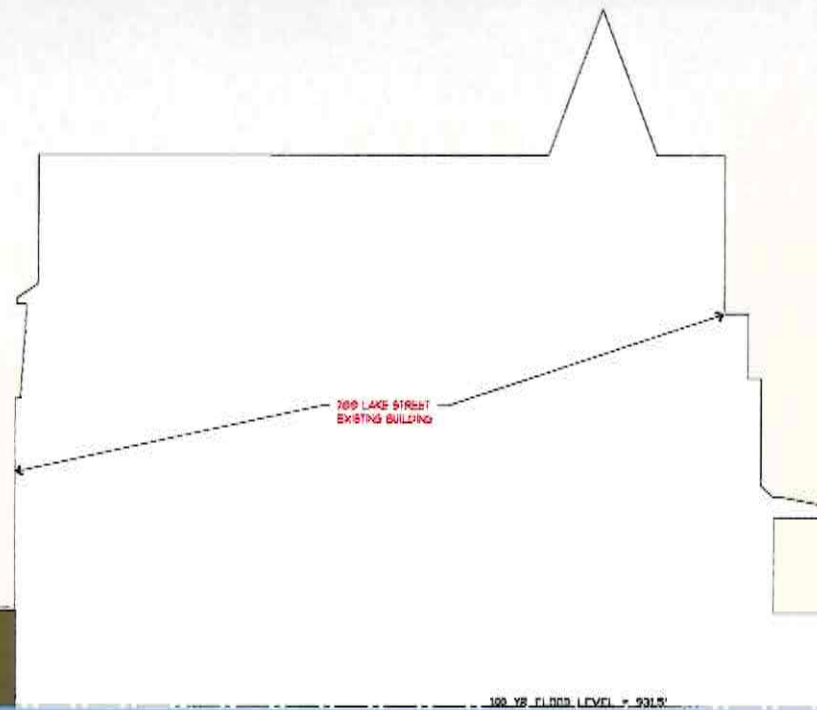


WESTWAY CONDOMINIUMS
201 LAKE STREET EAST, WAYZATA, MINNESOTA

BUILDING COMPARISON
PROPOSED BUILDING VERSUS EXISTING BUILDING



PUD GENERAL PLAN
REVISED JULY 17, 2023



200 LAKE ST

201 LAKE ST
WEST RESIDENCE

BUILDING SECTION "A"

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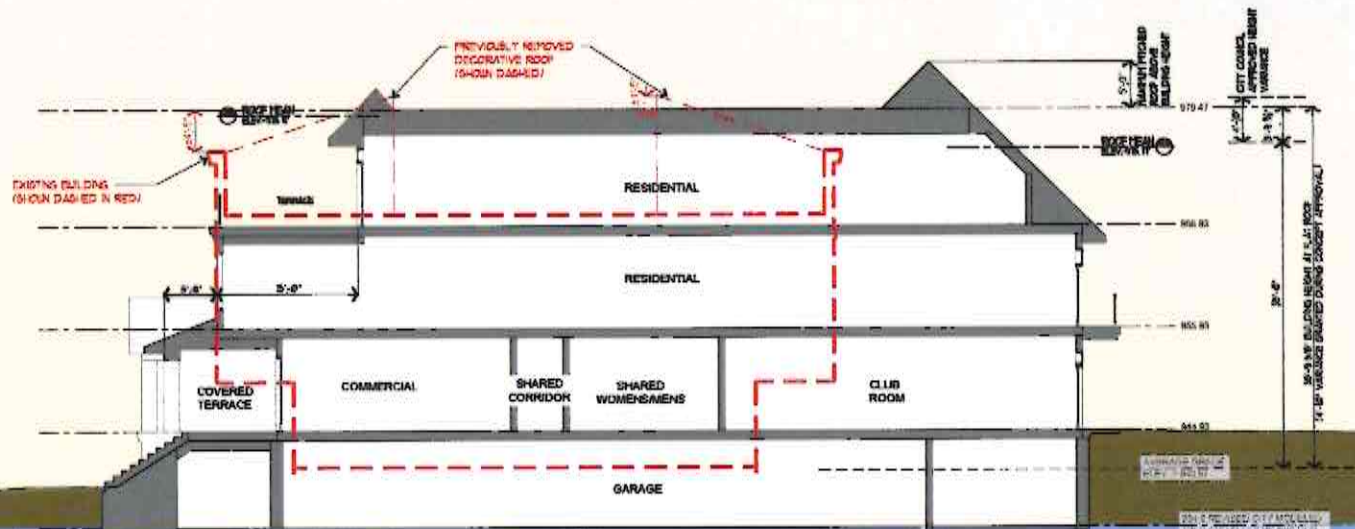
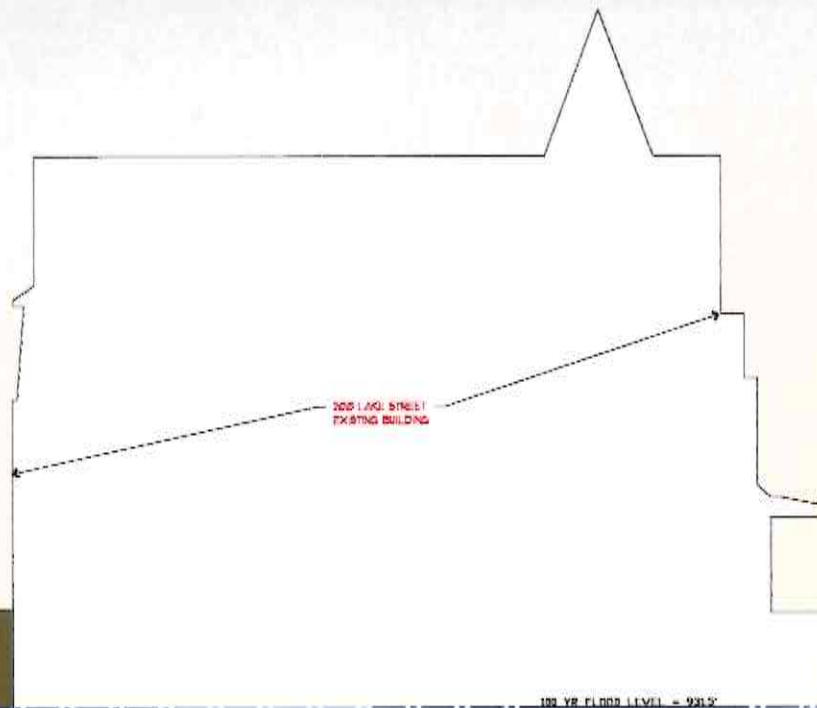


WESTWAY CONDOMINIUMS
201 LAKE STREET EAST, WAYZATA, MINNESOTA

SECTION



PUD GENERAL PLAN
REVISED JUNE 28, 2023



200 LAKE ST

201 LAKE ST
WEST RESIDENCE

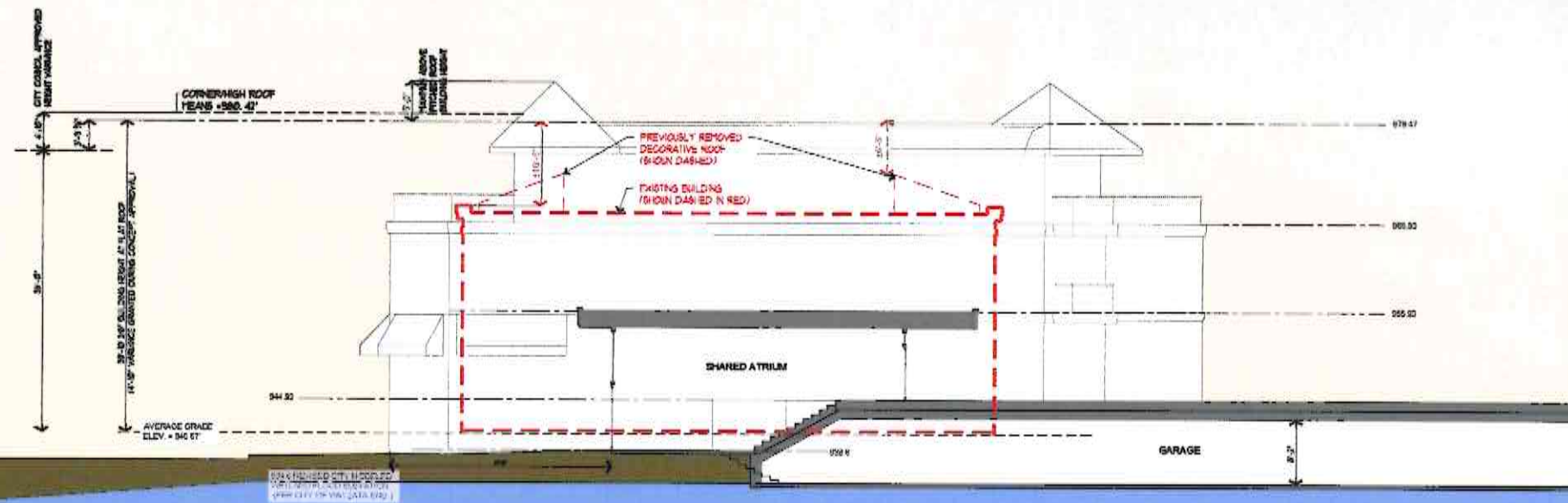
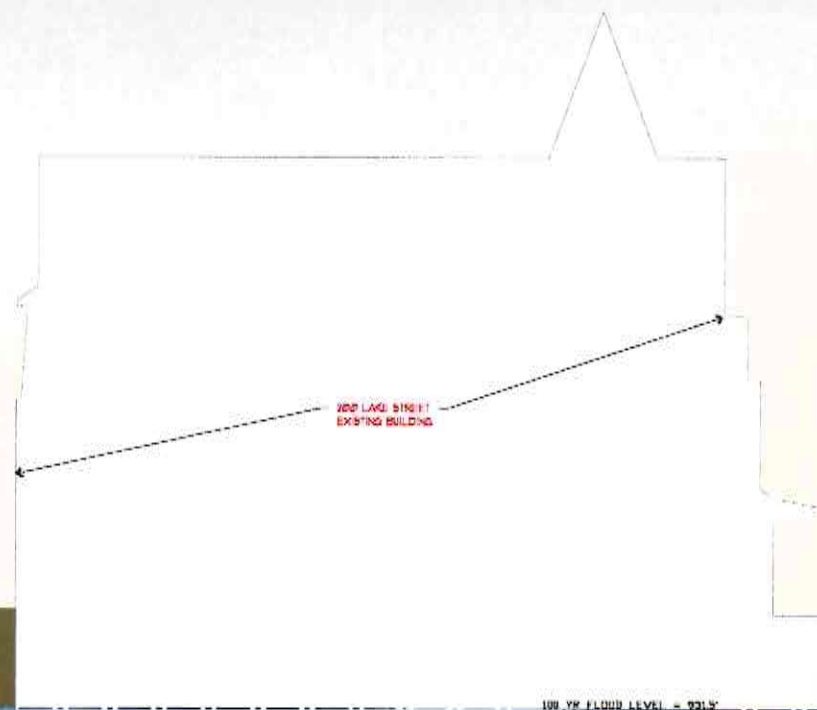
BUILDING SECTION "B"

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WESTWAY CONDOMINIUMS
201 LAKE STREET EAST, WAYZATA, MINNESOTA

SECTION
GRAPHIC SCALE

PUD GENERAL PLAN
REVISED JUNE 28, 2023



200 LAKE ST

201 LAKE ST
ATRIUM

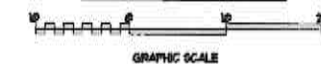
SECTION "D"

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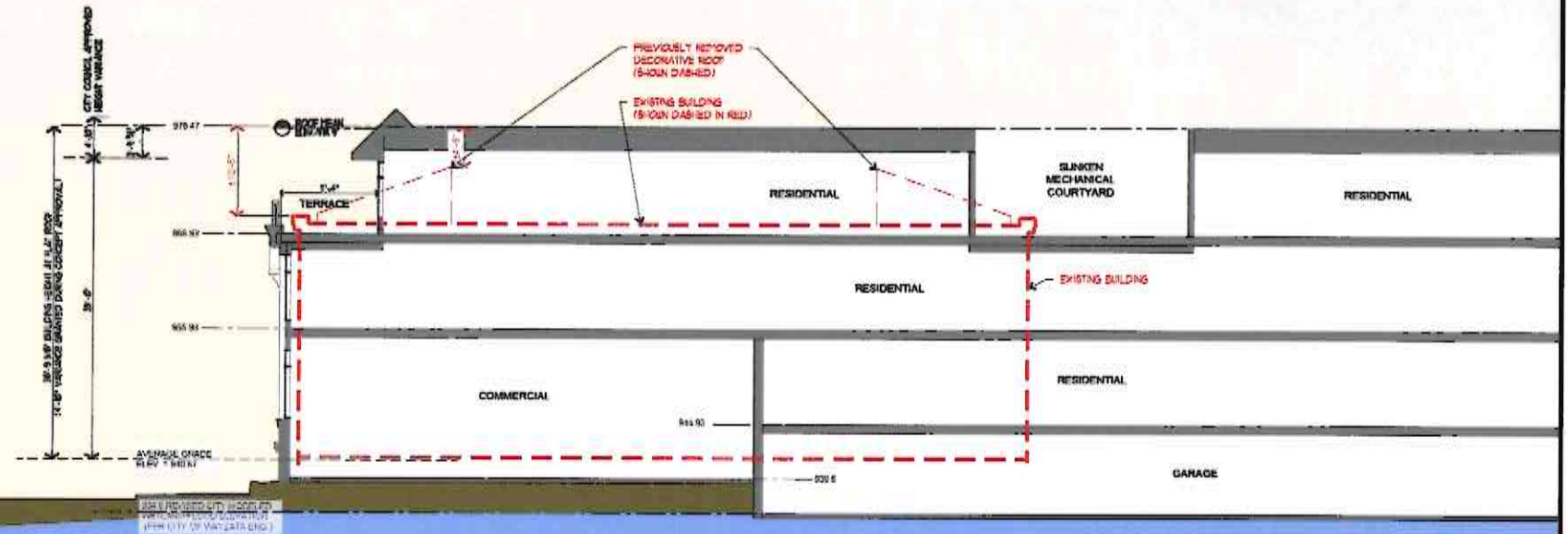
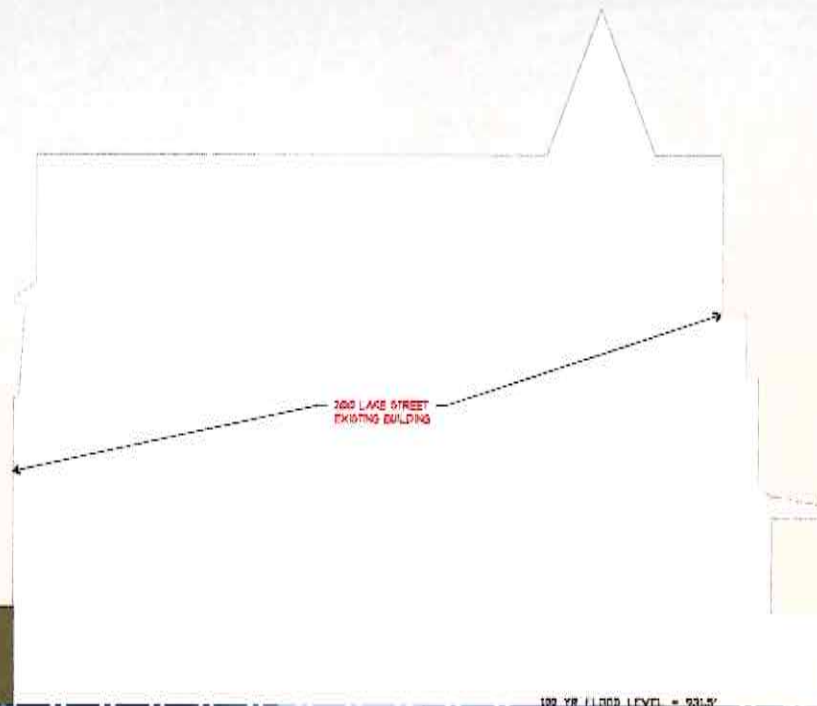


WESTWAY CONDOMINIUMS
201 LAKE STREET EAST, WAYZATA, MINNESOTA

SECTION



PUD GENERAL PLAN
REVISED JUNE 26, 2023



200 LAKE ST

201 LAKE ST
EAST RESIDENCE

SECTION "E"

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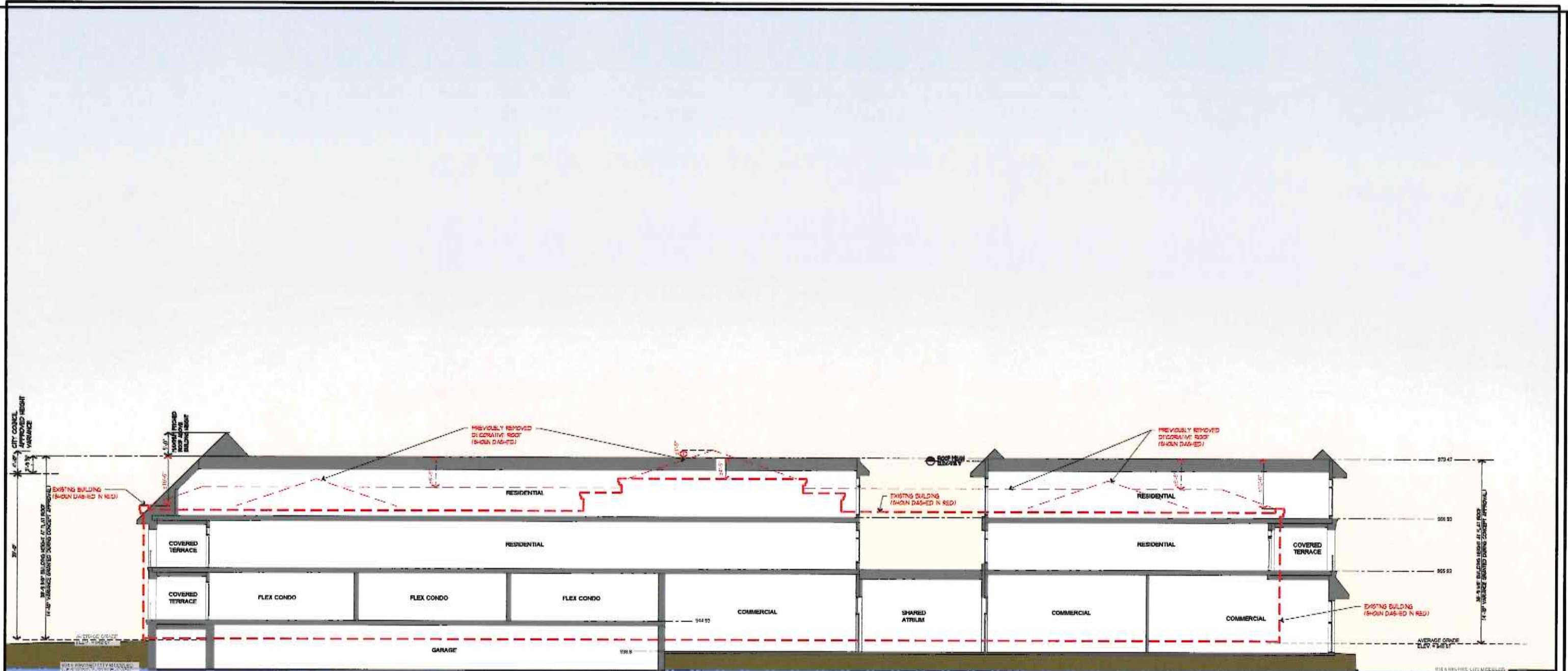


WESTWAY CONDOMINIUMS
201 LAKE STREET EAST, WAYZATA, MINNESOTA

SECTION



PUD GENERAL PLAN
REVISED JUNE 28, 2023



WEST RESIDENCE

201 LAKE ST
WEST RESIDENCE

EAST RESIDENCE

SECTION "F"

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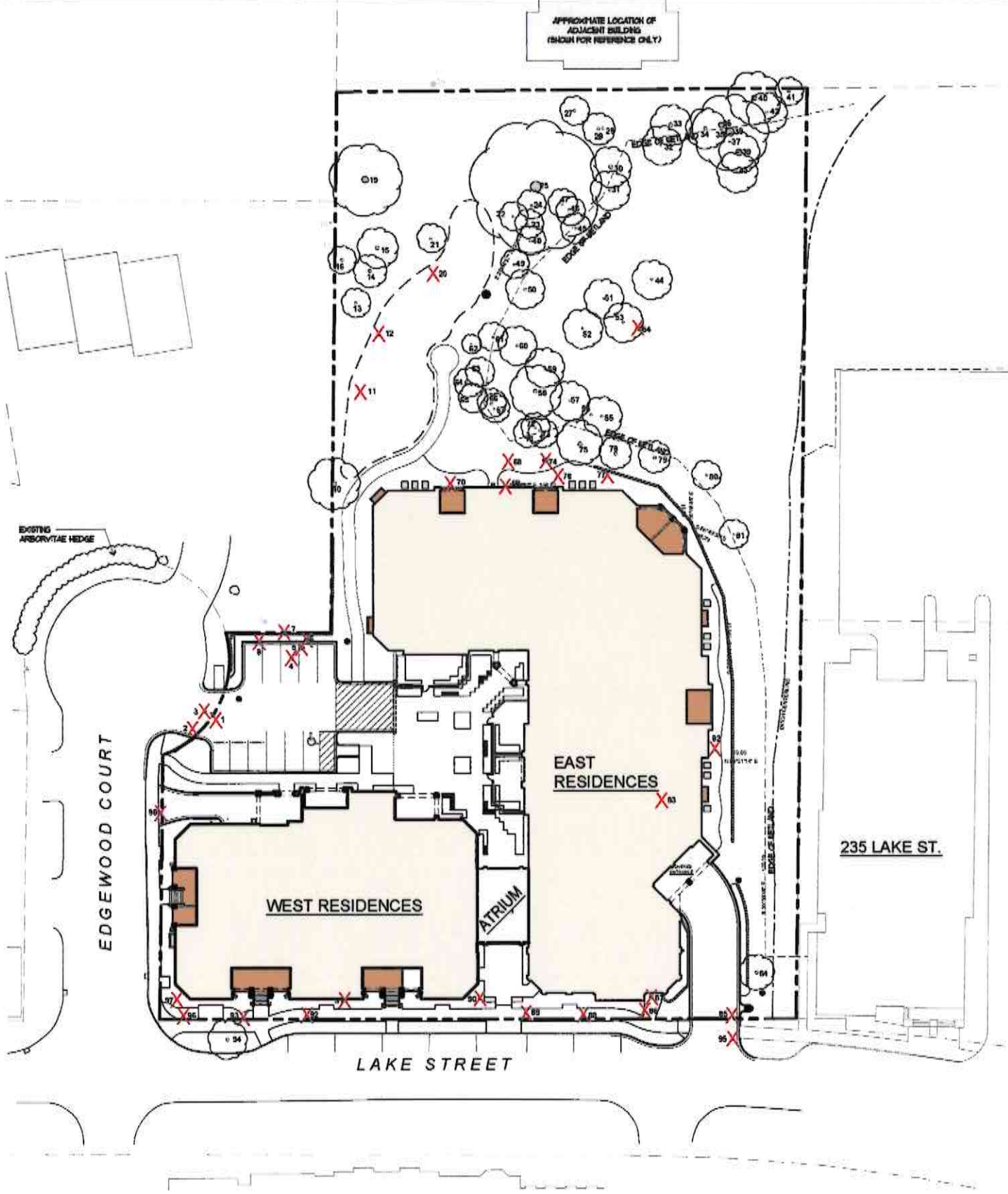


WESTWAY CONDOMINIUMS
201 LAKE STREET EAST, WAYZATA, MINNESOTA

SECTION



PUD GENERAL PLAN
REVISED JUNE 28, 2023



TREE SYMBOLS

INDICATES A TREE TO REMAIN (SEE TREE INVENTORY FOR SIZE AND SPECIES)

INDICATES A TREE TO BE REMOVED (SEE TREE INVENTORY FOR SIZE AND SPECIES)

TREE REPLACEMENT CALCULATIONS

EXISTING HERITAGE TREES BEING REMOVED = NONE

EXISTING SIGNIFICANT TREES
 1,277.5' = TOTAL EXISTING SIGNIFICANT TREES DBH
 360.0' = DBH SIGNIFICANT TREES TO BE REMOVED AND REPLACED
 - 127.75' = DBH SIGNIFICANT TREES ALLOWED TO BE REMOVED WITHOUT BEING MITIGATED (10%)
 232.25' = DBH REQUIRED TO BE MITIGATED

271.25' = CALIPER INCHES OF TREES PROPOSED TO BE PLANTED AT 201 LAKE STREET SITE
 + 65' = CALIPER INCHES TO BE PLANTED ON THE NEIGHBORING FERDALE RIDGE PROPERTY, ALONG THE SHARED PROPERTY LINE, TO CREATE PRIVACY SCREENING
 23 TREES MEASURING 12' TALL (BALL AND BURLAP, ASSUMED TO BE 3" DIAMETER)
 + (1) 3" HICKBERRY TREE

540.25' = ACTUAL DBH TO BE PLANTED

NOTE: 85 TREES 3" OR LARGER IN DIAMETER PROPOSED TO BE PLANTED AND 49 TREES 1.75" OR LARGER IN DIAMETER PROPOSED TO BE PLANTED FOR A TOTAL OF 135 TOTAL TREES TO BE PLANTED, REPLACING 32 SIGNIFICANT TREES BEING REMOVED

THE CITY FORESTER HAS VISITED THE SITE AND HAS NOT IDENTIFIED ANY SPECIFIC TREES TO BE DISEASED OR HAZARDOUS TO DATE, OTHER THAN TREE #34, A 20" GREEN ASH. THIS TREE WILL BE REMOVED AND IS EXEMPT FROM ANY REPLACEMENT REQUIREMENTS.

PRESERVATION OF THE MAXIMUM AMOUNT TREES POSSIBLE IS ONE OF THE GOALS FOR THIS PROPOSED DEVELOPMENT. THEREFORE, THE DEVELOPER PROPOSES REMOVING THE MINIMUM AMOUNT OF TREES NECESSARY FOR THIS DEVELOPMENT WHICH IS WHAT IS INDICATED ON THE TREE SURVEY. AFTER THESE TREES ARE REMOVED, ALONG WITH ANY OTHER DEAD OR ALREADY FALLEN TREES ARE CLEARED FROM THE NORTHERN PORTION OF THE PROPERTY, THE CITY FORESTER WILL BE INVITED BACK TO THE SITE FOR A MORE COMPREHENSIVE STUDY OF THE REMAINING TREES TO SEE IF ANY ARE DISEASED OR HAZARDOUS. AT THAT TIME, IT WILL BE DETERMINED IF ADDITIONAL TREES NEED TO BE REMOVED OR ABATED.

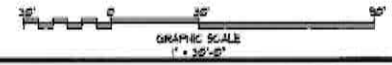
EXISTING TREE INVENTORY									
Tree #	Species	DBH	Condition	Stems	Heritage	Classification	To Be Removed	Significant Trees To Be Replaced	
1	Spruce, white	6.5	Fair	1	No	Coniferous	x		
2	Spruce, blue	8.0	Fair	1	No	Coniferous	x		
3	Spruce, blue	13.0	Good	1	No	Coniferous	x	x	
4	Cottonwood	15.5	Good	1	No	Softwood	x	x	
5	Cottonwood	20.5	Good	1	No	Softwood	x	x	
6	Cottonwood	24.0	Good	1	No	Softwood	x	x	
7	Flm. Siberian	12.5	Good	1	No	Softwood	x	x	
8	Cottonwood	15.5	Good	1	No	Softwood	x	x	
9	NOT LISTED - TREE #9 IS NOT WITHIN PROPERTY BOUNDARY AND NOT APART OF INVENTORY								
10	Cottonwood	14.0	Good	1	No	Softwood			
11	Larix, black	7.0	Fair	1	No	Hardwood	x	x	
12	Larix, black	10.0	Good	1	No	Hardwood	x	x	
13	Bowlder	12.0	Fair	1	No	Softwood			
14	Elm, American	16.0	Fair	1	No	Softwood			
15	Ash, green	20.0	Good	1	No	Hardwood			
16	Ash, green	14.0	Good	1	No	Hardwood			
17	NOT LISTED - TREE #17 IS NOT WITHIN PROPERTY BOUNDARY AND NOT APART OF INVENTORY								
18	NOT LISTED - TREE #18 IS NOT WITHIN PROPERTY BOUNDARY AND NOT APART OF INVENTORY								
19	Ash, green	25.5	Good	2	Yes	Hardwood			
20	Larix, black	7.5	Good	1	No	Hardwood	x	x	
21	Larix, black	11.0	Good	1	No	Hardwood			
22	Ash, green	10.5	Good	1	No	Hardwood			
23	Ash, green	6.5	Fair	1	No	Hardwood			
24	Ash, green	10.0	Fair	1	No	Hardwood			
25	Cottonwood	12.0	Good	2	Yes	Softwood			
26	NOT LISTED - TREE #26 IS NOT WITHIN PROPERTY BOUNDARY AND NOT APART OF INVENTORY								
27	Ash, green	12.0	Good	1	No	Hardwood			
28	Ash, green	13.0	Good	1	No	Hardwood			
29	Ash, green	10.5	Good	1	No	Hardwood			
30	Ash, green	18.5	Fair	1	No	Hardwood			
31	Ash, green	15.0	Fair	1	No	Hardwood			
32	Ash, green	9.0	Fair	1	No	Hardwood			
33	Bowlder	10.5	Fair	1	No	Softwood			
34	Cottonwood	11.5	Good	1	No	Softwood			
35	Ash, green	9.0	Fair	1	No	Hardwood			
36	Cottonwood	22.0	Fair	1	No	Softwood			
37	Ash, green	7.5	Good	1	No	Hardwood			
38	Cottonwood	45.0	Good	1	Yes	Softwood			
39	Cottonwood	25.0	Good	1	Yes	Softwood			
40	Bowlder	23.0	Good	1	No	Softwood			
41	Ash, green	12.5	Good	1	No	Hardwood			
42	Bowlder	14.0	Fair	1	No	Softwood			
43	Ash, green	17.0	Fair	1	No	Hardwood			
44	Ash, green	10.0	Good	1	No	Hardwood			
45	Ash, green	7.5	Fair	1	No	Hardwood			
46	Ash, green	20.0	Fair	1	No	Hardwood			
47	Ash, green	6.5	Good	1	No	Hardwood			
48	Ash, green	9.5	Good	1	No	Hardwood			
49	Ash, green	10.0	Good	1	No	Hardwood			
50	Ash, green	11.5	Fair	1	No	Hardwood			
51	Ash, green	7.5	Good	1	No	Hardwood			
52	Ash, green	10.0	Good	1	No	Hardwood			
53	Ash, green	10.5	Fair	1	No	Hardwood			
54	Ash, green	20.0	Good	1	No	Hardwood	x	EAB	
55	Ash, green	10.5	Good	1	No	Hardwood			
56	Ash, green	10.5	Good	1	No	Hardwood			
57	Ash, green	2.5	Good	1	No	Hardwood			
58	Ash, green	19.0	Fair	1	No	Hardwood			
59	Ash, green	19.0	Good	1	No	Hardwood			
60	Ash, green	15.5	Good	1	No	Hardwood			
61	Ash, green	9.0	Good	1	No	Hardwood			
62	Ash, green	3.5	Good	1	No	Hardwood			
63	Ash, green	14.0	Good	1	No	Hardwood			
64	Ash, green	17.0	Good	1	No	Hardwood			
65	Ash, green	12.0	Good	1	No	Hardwood			
66	Ash, green	8.0	Fair	1	No	Hardwood			
67	Ash, green	12.5	Good	1	No	Hardwood	x	x	
68	Crabapple	8.0	Fair	1	No	Hardwood	x	x	
69	Crabapple	7.0	Fair	1	No	Hardwood	x	x	
70	Ash, green	6.0	Good	1	No	Hardwood			
71	Ash, green	6.0	Good	1	No	Hardwood			
72	Ash, green	3.5	Good	1	No	Hardwood			
73	Cottonwood	26.0	Good	1	No	Softwood	x	x	
74	Bowlder	22.0	Fair	1	No	Softwood			
75	Crabapple	9.5	Fair	1	No	Hardwood	x	x	
76	Crabapple	6.0	Fair	1	No	Hardwood	x	x	
77	Bowlder	16.0	Fair	1	No	Softwood			
78	Willow	15.5	Good	1	No	Softwood			
79	Ash, green	10.0	Good	1	No	Hardwood			
80	Ash, green	7.0	Fair	1	No	Hardwood			
81	non-ident	7.5	Fair	1	Fair	Hardwood	x	x	
82	non-ident	7.0	Good	1	No	Hardwood	x	x	
83	Ash, green	17.0	Good	2	No	Hardwood			
84	hackberry	6.0	Good	1	No	Hardwood	x	x	
85	hackberry	3.5	Fair	1	Fair	Hardwood	x	x	
86	Spruce, blue	15.0	Fair	1	No	Coniferous	x	x	
87	non-ident	12.5	Good	1	No	Hardwood	x	x	
88	hackberry	12.5	Good	1	No	Hardwood	x	x	
89	Crabapple	11.5	Good	1	No	Hardwood	x	x	
90	Crabapple	6.5	Good	1	No	Hardwood	x	x	
91	hackberry	11.5	Good	1	No	Hardwood	x	x	
92	non-ident	20.5	Good	1	No	Hardwood	x	x	
93	Crabapple	9.0	Fair	1	No	Hardwood			
94	Crabapple	10.5	Good	1	No	Hardwood	x	x	
95	hackberry	11.5	Good	1	No	Hardwood	x	x	
96	Spruce, white	6.0	Fair	1	No	Coniferous	x	x	
97	non-ident	3.5	Good	1	No	Hardwood	x	x	

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WESTWAY CONDOMINIUMS

201 LAKE STREET EAST, WAYZATA, MINNESOTA

TREE SURVEY AND INVENTORY



PUD GENERAL PLAN
 REVISED JULY 17, 2023



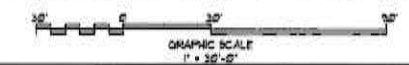
NEW PLANTING LEGEND										
PLANT LIST			SIZE / ROOT TYPE		QUANTITY	CALIPER INCHES OF PROPOSED TREES TO BE PLANTED				
PLANT	COMMON NAME	BOTANICAL NAME	BALL AND BURLAP	CONTAINER	TREES	SHRUBS	AT 201 LAKE SITE	AT FERDALE RIDGE SITE		
PB AREAS NOTED WITH "PB" INDICATE A PLANTING BED WHICH WILL INCLUDE A MIX OF JUNIPERS, HYDRANGEA AND PERENNIAL FLOWERS (APPROX. 1103)										
A	NORTHERN ACCLAIM HONEYLOCUST	GLEDTISIA TRIACANTHOS		3" DIA.		12	36"			
B	SPRING SNOW CRABAPPLE	MALUS 'SPRING SNOW'		3" DIA.		6	18"			
C	COMMON HACKBERRY	CET. TS OCCIDENTALIS		3" DIA.		6	15" (5 TREES)	3" (1 TREE)		
D	EASTERN WHITE PINE	PINUS STROBUS		10" BB (approx. 3" DIA)		22		66"		
E	RED ROCKET MAPLE	ACER RUFHUM		2.5" DIA.		4	10"			
F	FLOWERING CRABAPPLE	MALUS 'RUBY DAZE'		3" DIA.		13	36"			
G	SHADBLow SERVICEBERRY	AMBLANCHER GRANDIFLORA 'AUTUMN BRILLANCE'		# 8B (approx. 2.5" DIA)		9	22.5"			
H	RIVER BIRCH	BETULA NIGRA		3" DIA.		13	30"			
J	JAPANESE TREE LILAC	SYRINGA RETICULATA		2" DIA.		10	20"			
K	SWAMP WHITE OAK	QUERCUS BICOLOR		3" DIA.		10	30"			
L	COLUMBIAN MAPLE	ACER PLATANOIDES 'COLUMBIAN'		2.5" DIA.		4	10"			
M	SIBIRIA GLEN MAPLE	ACER x FRIEMANNI SIBIRICA		3" DIA.		3	9"			
N	SEA ASH LEAF SPIRUEA	SORBARIA SORBIIFOLIA 'SEM'			# 5	51				
P	SEA GREEN JUNPER	JUNIPERUS CHINENSIS			# 5	6				
Q	GARDEN GLOW DOGWOOD	CORNUS HESSEYII 'GARDEN GLOW'			# 5	42				
R	HYDRANGEA TREE	HYDRANGEA PANICULATA 'RENHY'		1.75" DIA.		10	17.5"			
S	ANDORRA COMPACT JUNIPER	JUNIPERUS HORIZONTALIS 'PLUMOSA COMPACTA'			# 2	29				
T	ALPINE CURRANT	RIBES ALPINUM			# 5	41				
U	MOUNT AIRY FOTHERGILLA	FOTHERGILLA GARDENII 'MOUNT AIRY'			# 5	26				
V	GOLDFINGER POTENILLA	POTENTILLA FRUTICOSA 'GOLDFINGER'			# 2	56				
W	JAPANESE YEW	TAXUS DISPIDATA			# 5	26				
X	RHODODENDRON	RHODODENDRON			# 5	3				
Y	FRENCH HYDRANGEA	HYDRANGEA 'ENDLESS SUMMER'			# 5	7				
Z	ANN MAGNOLIA TREE	MAGNOLIA LILIFLORA 'NIGRA'		(approx. 1.75" DIA)	# 10	3	5.25"			
TOTALS						126	287	271.25"	69"	271.25" + 69" = 340.25"

340.25 TOTAL CALIPER INCHES OF TREES PROPOSED TO BE PLANTED ON AND OFF SITE EXCEEDS THE 232.25 CALIPER INCHES OF TREES REQUIRED TO BE MITIGATED

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 ARCHITECTS

WESTWAY CONDOMINIUMS
 201 LAKE STREET EAST, WAYZATA, MINNESOTA

LANDSCAPE PLAN



PUD GENERAL PLAN
 REVISED JULY 17, 2023

WETLAND BUFFER INFORMATION

BASE BUFFER WIDTH REQUIRED BY MCWD PRIOR TO ANY REDUCTIONS OR MODIFICATIONS IS 30 FEET, WHICH EQUALS APPROX. 19,340 SF TOTAL BUFFER AREA REQUIRED. THE PROPOSED APPLIED TOTAL BUFFER AREA IS LARGER THAN WHAT IS REQUIRED - APPROX. 19,354 SF

PROPOSED BUFFER AREA INDICATED AS HATCHED = 

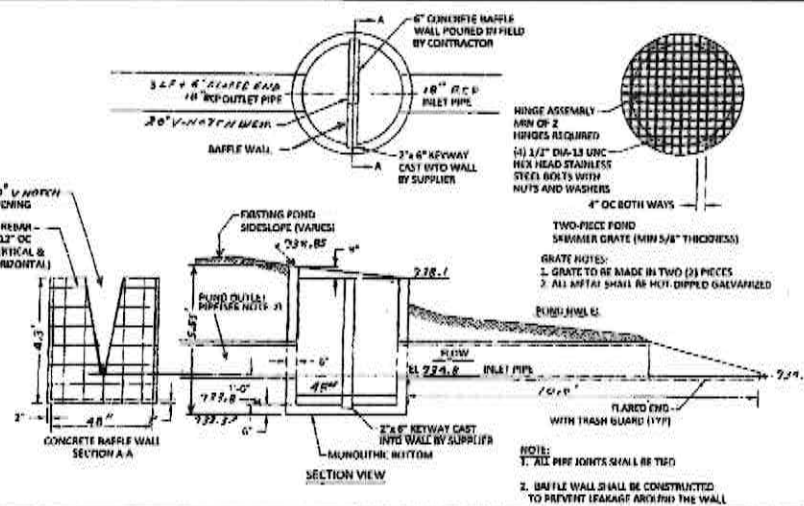
→ INDICATES PERMANENT WETLAND BUFFER MONUMENT REQUIREMENTS PER MCWD

KEYNOTE INFORMATION

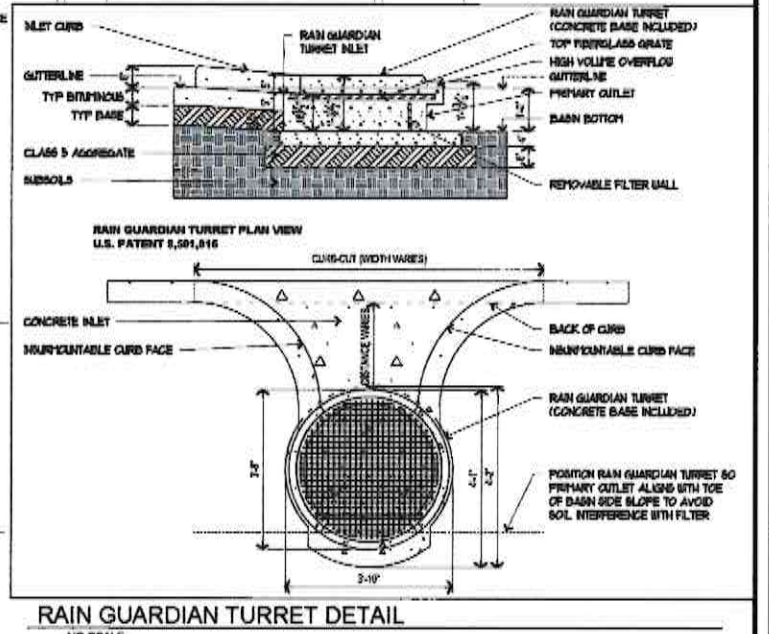
- 1 EXISTING STORM WATER PIPE FROM THE WEST NEIGHBORING PROPERTY. SIZE AND ELEVATION TO BE DETERMINED AT SITE. NETWORK PIPE END LOCATION AND ELEVATION AS REQUIRED FOR NEW HOLDING POND SHAPE AND CONTOURS
- 2 SEED MIX: MISC. PRAIRIE SOUTHEAST - MINNESOTA STATE MIX 35-641 (NATIVE SEED MIX TO MEET MCWD REQUIREMENTS)
- 3 RIP RAP CLASS 3 AT OUTLET FROM BOTH STORMWATER PIPES - EXACT QUANTITY TO BE DETERMINED
- 4 8" DIAMETER SCHEDULE 40 PVC DRAIN PIPE FOR PITCHED ROOF GUTTERS DOWNSPOUT (STOP DOWNSPOUT 4" ABOVE TOP OF PIPE) WITH FOURED CONCRETE SPLASH BLOCK FOR OVERFLOWS WHERE INDICATED
- 5 TERRACE DRAIN
- 6 LANDSCAPE DRAIN
- 7 RAIN GUARDIAN TURRET MODEL (SEE DETAIL). TIE-IN TO CURB FLOW LINE AS DIRECTED IN FIELD
- 8 10 CY RIP RAP CLASS 3 AT OUTLET. RAIN GUARDIAN TURRET TO HANDLE STORM WATER FROM ENCLOSED PARKING ENTRANCE DRIVE AREA ONLY

STORM WATER PIPE SCHEDULE

- 1 2x12" 12" RCP AT 1%
CONNECT TO WEST RESIDENCES PRIMARY INTERIOR ROOF DRAIN PIPING BELOW GRADE. PROVIDE DRAIN AND 12" VERTICAL PIPE IN SPLASHBLOCK AT GRADE AS INDICATED FOR SECONDARY (OVERFLOW PIPE)
- 2 2" 12" RCP AT 1%
CONNECT TO CATCH BASIN AT BOTH ENDS
- 3 2" 15" RCP AT 0.5%
CONNECT TO CATCH BASIN AT BOTH ENDS
- 4 2" 15" RCP AT 0.5%
CONNECT TO CATCH BASIN AT HIGH END
DISCHARGES ABOVE GRADE AT HOLDING POND (ELEV = 930.5). PROVIDE FLARED END WITH TRASH GUARD
- 5 4x4" 12" RCP AT 1%
CONNECT TO EAST RESIDENCES PRIMARY INTERIOR ROOF DRAIN PIPING BELOW GRADE
- 6 7x6" 8" PVC AT 1%
PROVIDE 4" PVC BRANCH EXTENSIONS (AT 1%) WITH VERTICAL PIPE TO LANDSCAPE DRAINS AS SHOWN
- 7 14" 8" PVC AT 1%
CONNECT TO CATCH BASIN
- 8 21" 8" PVC AT 1%
CONNECT TO CATCH BASIN
- 9 22" 8" PVC AT 1%
PROVIDE 4" PVC BRANCH EXTENSIONS (AT 1%) WITH VERTICAL PIPE TO LANDSCAPE DRAINS AS SHOWN
- 10 22" 8" PVC AT 1%
PROVIDE 4" PVC BRANCH EXTENSIONS (AT 1%) WITH VERTICAL PIPE TO LANDSCAPE DRAINS AS SHOWN
- 11 53" 8" PVC AT 1%
PROVIDE 4" PVC BRANCH EXTENSIONS (AT 1%) WITH VERTICAL PIPE TO LANDSCAPE DRAINS AS SHOWN
- 12 188" 8" PVC AT 2%
PROVIDE 4" PVC BRANCH EXTENSIONS (AT 1%) WITH VERTICAL PIPE TO LANDSCAPE DRAINS AS SHOWN
- 13 22" 8" PVC AT 1%
PROVIDE 4" PVC BRANCH EXTENSIONS (AT 1%) TO TERRACE DRAINS
- 14 41" 8" PVC AT 2%
CONNECT TO CATCH BASIN
- 15 15" 2" 8" PVC AT 1%
8" PVC OPEN VERTICAL PIPE TO ABOVE GRADE BELOW ROOF GUTTER DOWNSPOUT. CONNECT OTHER END TO CATCH BASIN
- 16 18" 5" 8" PVC AT 1%
PROVIDE 4" PVC BRANCH EXTENSIONS (AT 1%) WITH VERTICAL PIPE TO LANDSCAPE DRAINS AS SHOWN
- 17 37" 2" 8" PVC AT 5%
PROVIDE 4" PVC BRANCH EXTENSIONS (AT 1%) WITH VERTICAL PIPE TO LANDSCAPE DRAINS AND 6" PVC BRANCH EXTENSIONS (AT 1%) WITH VERTICAL PIPE DOWNSPOUT AS SHOWN
- 18 4" 0" PLUS 6" 0" FLARED END - 18" RCP (NO PITCH)
CONNECT TO OUTLET STRUCTURE. OPEN TO HOLDING POND WITH FLARED END AND TRASH GUARD. SEE DETAIL
- 19 11" 0" PLUS 6" 0" FLARED END - 18" RCP AT 1.8%
CONNECT TO OUTLET STRUCTURE. DISCHARGES TO WETLAND WITH FLARED END AND TRASH GUARD. SEE DETAIL
- 20 22" 8" 8" PVC AT 0.5%
CONNECT TO CATCH BASIN. DISCHARGE ABOVE GRADE (ELEV = 931.5). PROVIDE FLARED END WITH TRASH GUARD
- 21 34" 0" 8" PVC AT 2%
CONNECT TO TRENCH DRAIN AND MANHOLE STRUCTURE
- 22 8" 8" 8" PVC AT 0.5%
CONNECT TO MANHOLE STRUCTURE. DISCHARGE TO DAYLIGHT (ELEV = 931.5).



HOLDING POND OUTLET STRUCTURE DETAIL
NO SCALE



RAIN GUARDIAN TURRET DETAIL
NO SCALE

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WESTWAY CONDOMINIUMS
 201 LAKE STREET EAST, WAYZATA, MINNESOTA

STORMWATER PIPING AND WETLAND BUFFER PLAN
 GRAPHIC SCALE
 1" = 30'-0"

PUD GENERAL PLAN
 REVISED JUNE 28, 2023

UTILITY PLAN LEGEND

- WATER-N --- NEW 6" DIA. WATER SUPPLY - SIZE TO BE VERIFIED
- WATER-X --- EXISTING WATER MAIN - SIZE TO BE VERIFIED
- ELEC-N --- NEW UNDERGROUND ELECTRIC SERVICE FROM EXISTING ELECTRIC TRANSFORMER - SERVICE SIZE TO BE VERIFIED
- GAS-N --- NEW NATURAL GAS SERVICE - SIZE AND EXISTING GAS MAIN LOCATION TO BE VERIFIED
- SAN-N --- NEW 6" DIAMETER SANITARY SEWER - SIZE TO BE VERIFIED
- SAN-X --- EXISTING SANITARY SEWER - SIZE TO BE VERIFIED
- TELE-N --- NEW UNDERGROUND LOW VOLTAGE / TELEPHONE SERVICE
- TELE-X --- EXISTING UNDERGROUND LOW VOLTAGE / TELEPHONE LINE
- ⊕ --- EXISTING SANITARY SEWER MAN-HOLE
- ⊕ --- EXISTING GATE VALVE



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WESTWAY CONDOMINIUMS
 201 LAKE STREET EAST, WAYZATA, MINNESOTA

UTILITY PLAN
 GRAPHIC SCALE
 1" = 30'-0"
 NORTH

PUD GENERAL PLAN
 REVISED JUNE 28, 2023

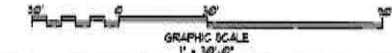
SITE LIGHTING FIXTURE LEGEND			
FIXTURE ID	SYMBOL	DESCRIPTION	IMAGE
A	✦	SURFACE PARKING LOT AND OPEN SPACE LIGHTING FIXTURE POLE MOUNTED, 12' ABOVE GRADE ANP LIGHTING, BELLA VISTA 24" x 17" LED, 3000K	
B	*	STREET LIGHT FIXTURE (EXISTING TO REMAIN WHERE NOTED) NEW STREET LIGHTS TO MATCH EXISTING CITY STANDARD AND HEIGHT	
C	⊙	BOLLARD STYLE WALKWAY LIGHT FIXTURE 2'-6" ABOVE GRADE ANP LIGHTING, 30" x 6 1/2" LED, 2700K	
D	•	WALL SCONCE APPROX. 8'-8" MOUNTING HGT ABOVE GRADE GENERATION LIGHTING, MEDIUM LANTERN, SHEPHERD COLLECTION 7 1/2" x 19 1/2" x 7 1/2" DEEP A19 BULB, 75W	
E	□	WALL SCONCE APPROX. 8'-9" MOUNTING HGT ABOVE GRADE CRENSHAW LIGHTING, EXTERIOR BRACKET SCONCE, 11" x 24" x 13 1/2" DEEP E017 METAL HALIDE BULB, 75W	
F	▲	WALL SCONCE APPROX. 8'-9" MOUNTING HGT ABOVE GRADE CRENSHAW LIGHTING, TILTON PLUS ADA LED, 10" x 18" x 4" DEEP	
G	—	ARCHITECTURAL LINEAR FLOOD LIGHT HYDREL 475M, 4 FEET LENGTH LED, 3000K	
H	○	STEP LIGHT WAC LIGHTING, CIRCULAR SCOOP LED+ STEP LIGHT, 3 1/2" DIAMETER LED, 2700K	
J	▭	STEP LIGHT WAC LANDSCAPE LIGHTING, RECTANGLE STEP LIGHT, 3 1/2" x 5" LED, 2700K	
K	•	WALKWAY PATH LIGHT WAC LANDSCAPE LIGHTING, CANOPY 6" 21 1/2" HIGH, 6 1/2" DIAMETER LED, 2700K	



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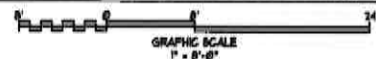
SITE LIGHTING PLAN



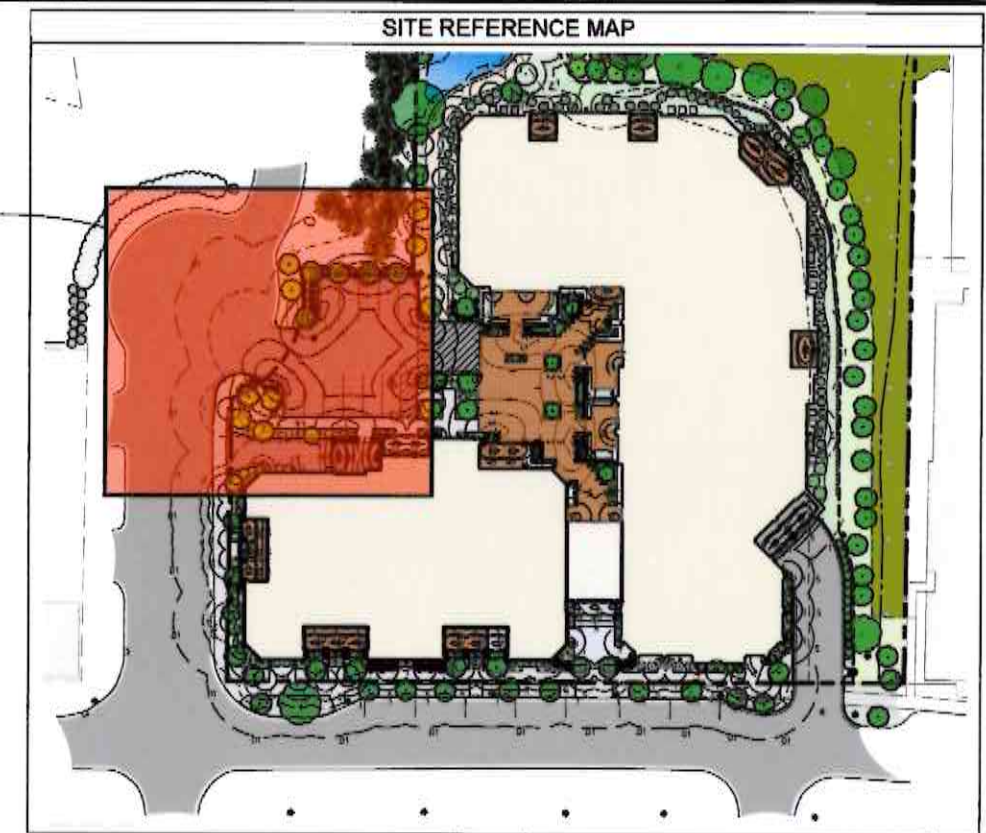
PUD GENERAL PLAN
 REVISED AUGUST 2, 2023



DETAIL AT EDGEWOOD COURT CUL DE SAC



DETAILED AREA



SITE LIGHTING FIXTURE LEGEND			
FIXTURE ID	SYMBOL	DESCRIPTION	IMAGE
A	*	SURFACE PARKING LOT AND OPEN SPACE LIGHTING FIXTURE POLE MOUNTED, 12' ABOVE GRADE ANP LIGHTING, BELLA VISTA 24" x 17" LED, 3000K	
B	•	STREET LIGHT FIXTURE (EXISTING TO REMAIN WHERE NOTED). NEW STREET LIGHTS TO MATCH EXISTING CITY STANDARD AND HEIGHT	
C	.	DOLLARD STYLE WALKWAY LIGHT FIXTURE 2'-0" ABOVE GRADE ANP LIGHTING, 30" x 6 1/2" LED, 2700K	
D	•	WALL SCONCE APPROX. 6'-0" MOUNTING HGT ABOVE GRADE GENERATION LIGHTING, MEDIUM LANTERN, SHEPHERD COLLECTION 7 3/4" x 13 3/4" x 7 1/2" DEEP A19 BULB, 75w	
E	—	ARCHITECTURAL LINEAR FLOOD LIGHT HYDREL 4750L, 4 FEET LENGTH LED, 3000K	

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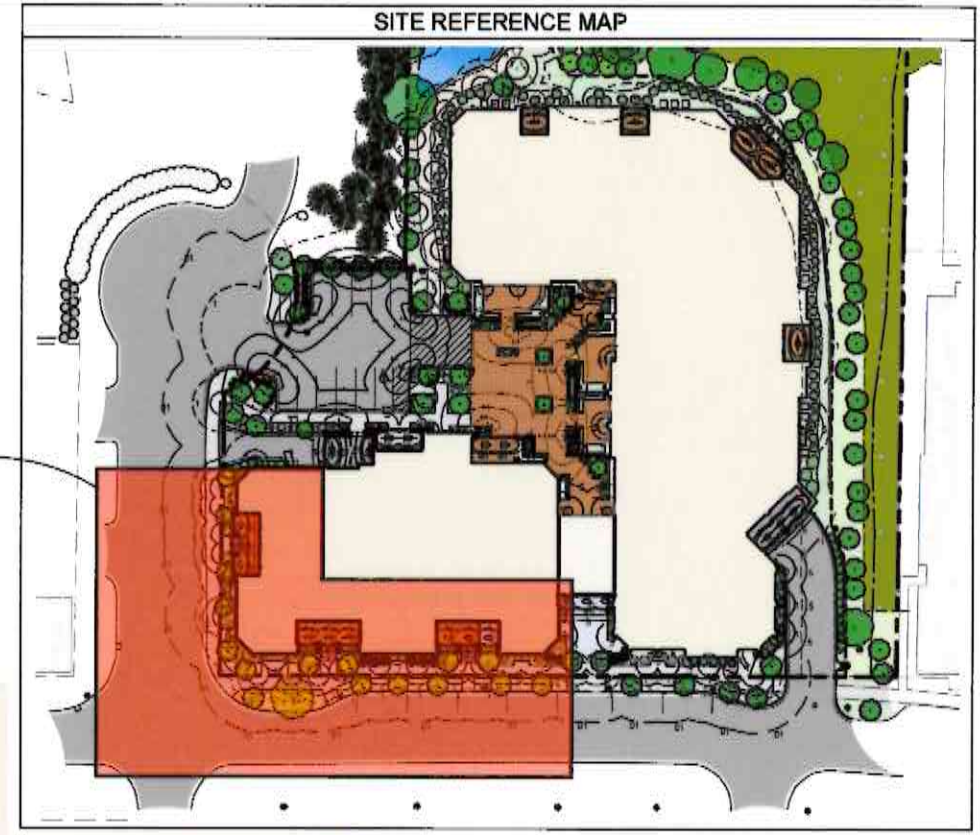


WESTWAY CONDOMINIUMS
201 LAKE STREET EAST, WAYZATA, MINNESOTA

SITE LIGHTING PLAN

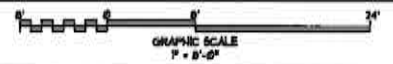






PUD GENERAL PLAN
AUGUST 2, 2023



DETAILED AREA

DETAIL AT CORNER OF LAKE STREET AND EDGEWOOD COURT (WEST END OF PROPERTY)



SITE LIGHTING FIXTURE LEGEND			
FIXTURE ID	SYMBOL	DESCRIPTION	IMAGE
B	+	STREET LIGHT FIXTURE (EXISTING TO REMAIN WHERE NOTED). NEW STREET LIGHTS TO MATCH EXISTING CITY STANDARD AND HEIGHT	
C	•	BOLLARD STYLE WALKWAY LIGHT FIXTURE 2'-6" ABOVE GRADE ANP LIGHTING, 30" x 6 1/2" LED, 2700K	
D	+	WALL SCONCE APPROX. 6'-0" MOUNTING HGT ABOVE GRADE GENERATION LIGHTING, METOLIN LANTERN, SHEPHERD COLLECTION 7 1/2" x 15 1/2" x 7 1/2" DEEP A15 BULB, 75w	
F	+	WALL SCONCE APPROX. 6'-0" MOUNTING HGT ABOVE GRADE CRENSHAW LIGHTING, TILTON PLUS ADA LED, 10" x 18" x 4" DEEP	
G	—	ARCHITECTURAL LINEAR FLOOD LIGHT HYDREL 4750L, 4 FEET LENGTH LED, 3000K	

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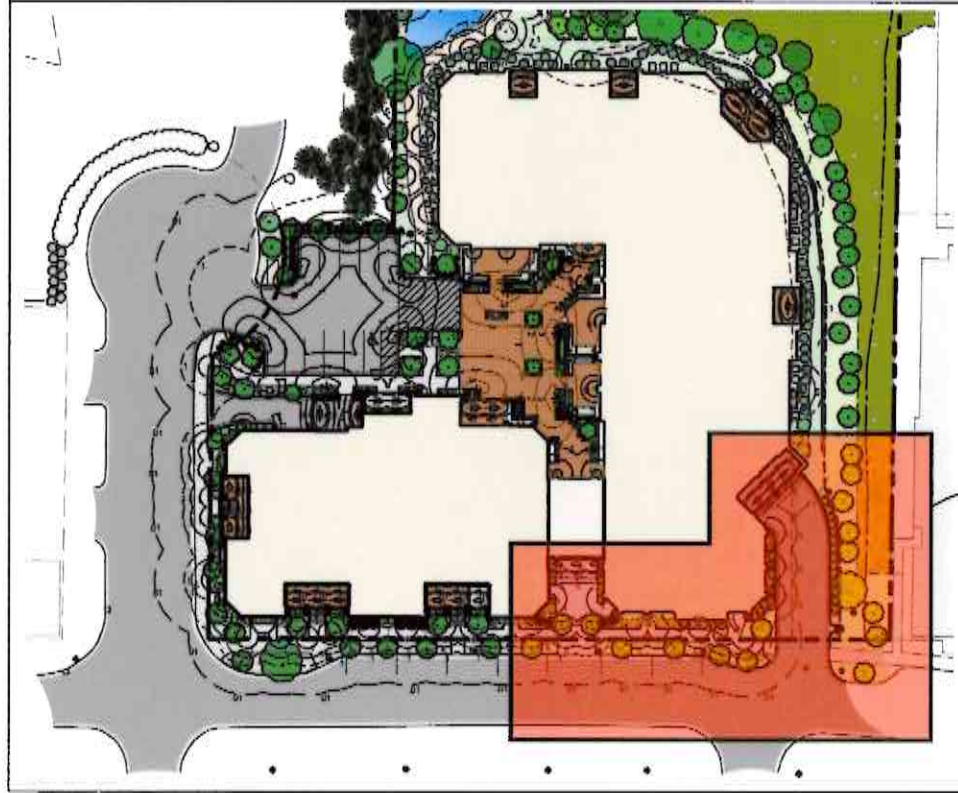
WESTWAY CONDOMINIUMS
 201 LAKE STREET EAST, WAYZATA, MINNESOTA

SITE LIGHTING PLAN

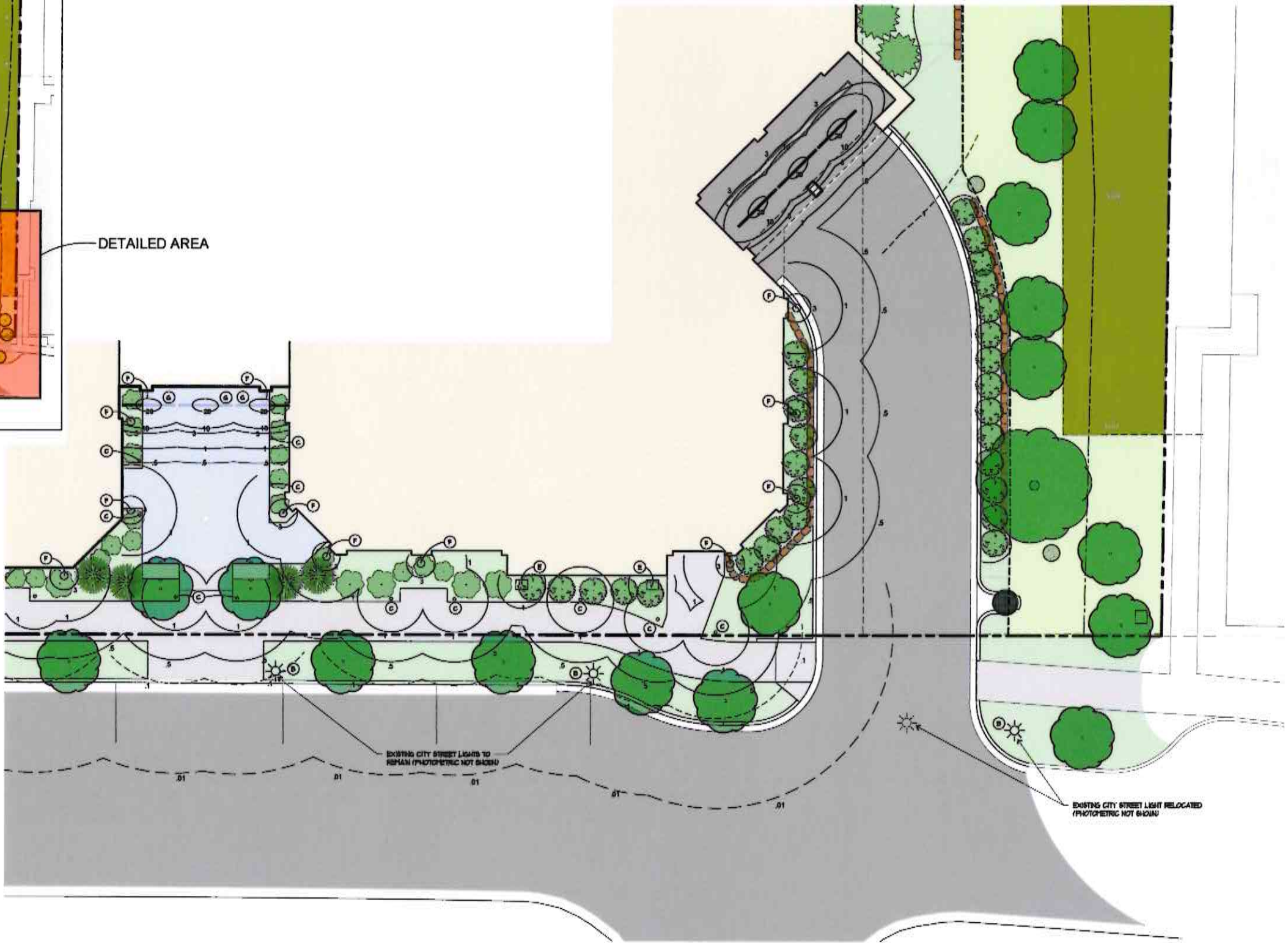


PUD GENERAL PLAN
 AUGUST 2, 2023

SITE REFERENCE MAP







DETAILED AREA

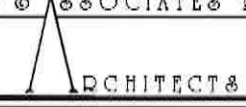


DETAIL AT UNDERGROUND PARKING ENTRANCE AND ALONG LAKE STREET (EAST END OF PROPERTY)



SITE LIGHTING FIXTURE LEGEND			
FIXTURE ID	SYMBOL	DESCRIPTION	IMAGE
B	☉	STREET LIGHT FIXTURE (EXISTING TO REMAIN WHERE NOTED). NEW STREET LIGHTS TO MATCH EXISTING CITY STANDARD AND HEIGHT	
C	⦿	HOLLAND STYLE WALKWAY LIGHT FIXTURE 2'-6" ABOVE GRADE AND LIGHTING, 30" x 6" LED, 2700K	
E	⦿	WALL SCONCE APPROX. 6'-8" MOUNTING HGT ABOVE GRADE CRENSHAW LIGHTING, EXTERIOR BRACKET SCONCE, 11" x 24" x 13 1/2" DEEP ED17 METAL HALIDE BULB, 75w	
F	⦿	WALL SCONCE APPROX. 6'-8" MOUNTING HGT ABOVE GRADE CRENSHAW LIGHTING, TILTON PLUS ADA LED, 10" x 18" x 4" DEEP	
G	—	ARCHITECTURAL LINEAR FLOOD LIGHT HYDREL 4750L, 4 FEET LENGTH LED, 3000K	

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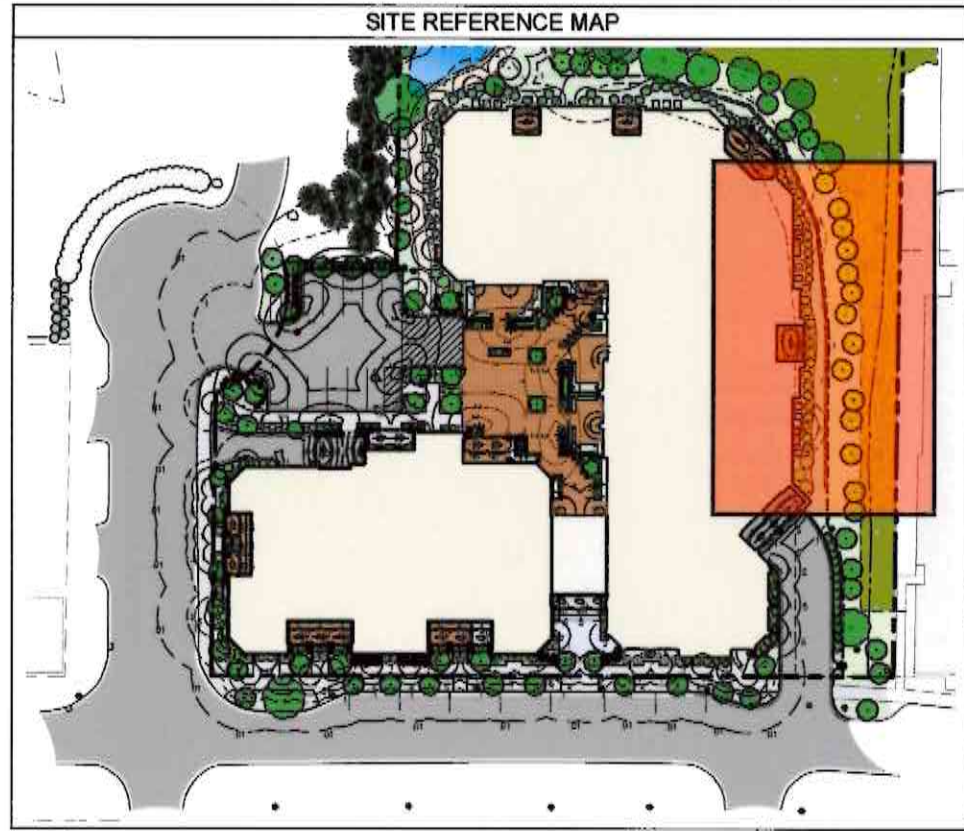


WESTWAY CONDOMINIUMS
 201 LAKE STREET EAST, WAYZATA, MINNESOTA

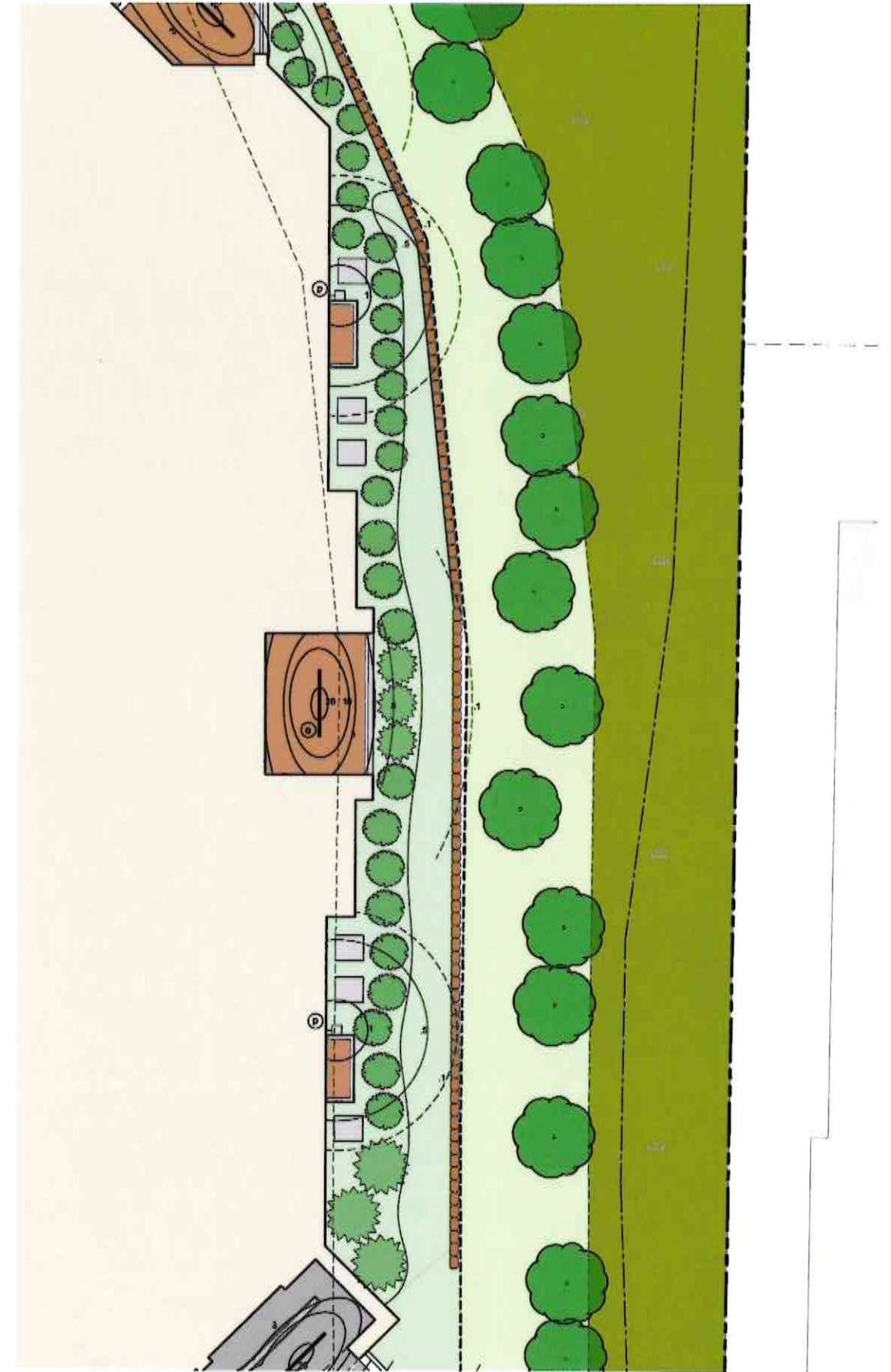
SITE LIGHTING PLAN



PUD GENERAL PLAN
 AUGUST 2, 2023

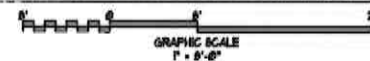


DETAILED AREA



SITE LIGHTING FIXTURE LEGEND			
FIXTURE ID	SYMBOL	DESCRIPTION	IMAGE
S	•	WALL SCONCE APPROX. 6'-8" MOUNTING HGT ABOVE GRADE GENERATION LIGHTING, MEDIUM LANTERN SHEPHERD COLLECTION 7 3/8" x 19 1/2" x 7 1/2" DEEP A19 BULB, 75W	
L	—	ARCHITECTURAL LINEAR FLOOD LIGHT HYDREL 4750L, 4 FEET LENGTH LED, 3000K	

DETAIL ALONG EASTERN PROPERTY LINE



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WESTWAY CONDOMINIUMS
201 LAKE STREET EAST, WAYZATA, MINNESOTA

SITE LIGHTING PLAN



PUD GENERAL PLAN
AUGUST 2, 2023



NEW SCREENING PLANTING INTERMIXED WITH EXISTING TREES AND LANDSCAPING TO REINFORCE EXISTING SCREENING. LANDSCAPE ARCHITECT TO PROPOSE SELECTIVE CLEARING OF EXISTING VEGETATION AND REPLANTING WITH APPROPRIATELY SELECTED TREES AND SHRUBS FOR FERNDALE RIDGE REVIEW AND APPROVAL

EXISTING FERNDALE RIDGE DRIVEWAY PIERS WITH NEW LARGER SIGN PER FERNDALE RIDGE DESIGN AND APPROVAL

EXTEND EXISTING ARBORVITAE HEDGE TO EXISTING FENCE LINE PER FERNDALE RIDGE DESIGN AND APPROVAL



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WESTWAY CONDOMINIUMS
 201 LAKE STREET EAST, WAYZATA, MINNESOTA

PROPOSED NEIGHBORHOOD
 AMENITY PLAN

PUD GENERAL PLAN
 REVISED JUNE 28, 2023



STORMWATER POLLUTION PREVENTION PLAN FOR WESTWAY LLC

- PROJECT NARRATIVE**
- THIS PROJECT CONSISTS OF REPLACING AN EXISTING BUILDING & PARKING LOT WITH A PROPOSED BUILDING AND PARKING LOT. THE TOTAL SITE IS 7.73 ACRES. UTILITY INSTALLATION (ELECTRIC, GAS, PHONE, CABLE, ETC.) WILL ALSO BE INSTALLED IN THE FUTURE AS PART OF THIS PLAN. THE EXISTING IMPERVIOUS SURFACE FOR THIS SITE IS 1.29 ACRES. THE NEW IMPERVIOUS SURFACE WILL BE 1.34 ACRES.

EROSION AND SEDIMENT CONTROL

- ALL CONSTRUCTION SHALL BE CONDUCTED ON DEMO FROM 5:15 PM AND FILTERS MUST BE INSTALLED PRIOR TO CONSTRUCTION. THE TOTAL PROJECT SHALL BE COMPLETED WITHIN 180 DAYS. A 24 HOUR NOTICE MUST BE PROVIDED PRIOR TO INSPECTION.
- ALL EROSION CONTROL INSTALLATIONS SHALL REMAIN IN PLACE AND BE MAINTAINED IN GOOD CONDITION BY THE CONTRACTOR UNTIL THE SITE HAS BEEN RE-VEGETATED. CONTRACTOR SHALL PROVIDE EROSION CONTROL MEASURES TO PREVENT EROSION AND SEDIMENT FROM ENTERING ADJACENT AREAS.
- THE CONTRACTOR SHALL SCHEDULE SITE GRADING, UTILITY INSTALLATION AND PAVEMENT CONSTRUCTION SO THAT THE GENERAL SITE CAN BE MULCHED AND RE-SEEDED SOON AFTER DISTURBANCE AREAS THAT WILL NOT BE SUBJECT TO CONSTRUCTION TRAFFIC SHALL BE MULCHED WITH 2-1/2" MULCH @ 100#/AC AND MULCHED OR SOODED WITHIN SEVEN DAYS OF BEING DISTURBED.
- CONTRACTOR SHALL INST. ALL EROSION CONTROL DEVICES AS INDICATED ON THIS EROSION CONTROL PLAN AND ANY ADDITIONAL REQUIRED, BASED ON MEANS, METHODS AND SEQUENCES OF CONSTRUCTION.
- BEST MANAGEMENT PRACTICES (BMP'S) REFER TO EROSION AND SEDIMENT CONTROL PRACTICES DEFINED IN THE MPCA PROTECTING WATER QUALITY IN URBAN AREAS AND THE IMPROVING CONSTRUCTION SITE EROSION AND SEDIMENT CONTROL PLANNING HANDBOOK.
- ALL BMP'S SELECTED SHALL BE APPROPRIATE FOR THE TIME OF YEAR, SITE CONDITIONS, AND ESTIMATED DURATION OF USE.

- INSTALL PERIMETER CONTROL DEVICES AROUND ANY DIRT STOCKPILE AREAS.
- THE CONTRACTOR MUST SO-EDULE HIS OPERATIONS TO MINIMIZE THE AMOUNT OF DISTURBED AREA AT ANY GIVEN TIME. THE CONTRACTOR MUST LIMIT THEIR ACTIVITIES TO THE GRADING LIMITS SHOWN.
- EROSION CONTROL BARRIERS MUST BE INSTALLED BETWEEN THE MHL AND #HL OF ANY PROPOSED POND AFTER FINAL GRADING.

- WHEREVER POSSIBLE, PRESERVE THE EXISTING TREES, GRASS AND OTHER VEGETATIVE COVER TO HELP FILTER RUNOFF.
- ALL TREES NOT LISTED FOR REMOVAL SHALL BE PROTECTED. DO NOT OPERATE EQUIPMENT WITHIN THE DRIPLE, ROOT ZONES OR WITHIN THE TREE PROTECTION FENCE AREA.
- SILT FENCE IS REQUIRED AT DOWN GRADIENT PERIMETER OF DISTURBED AREAS AND STOCKPILES. PROTECT WETLANDS, WATERCOURSES AND ADJACENT PROPERTIES FROM SEDIMENTATION AND STORMWATER RUNOFF.
- THE BMP'S SHOWN ON THE PLANS ARE THE MINIMUM REQUIREMENTS FOR THE APPLICABLE SITE CONDITIONS. AS CONSTRUCTION PROGRESSES AND LINEARITIES OR SEASONAL CONDITIONS OCCUR, THE PERMITS/CONTRACTOR SHALL ANTICIPATE THAT MORE BMP'S WILL BE NECESSARY TO ENSURE EROSION AND SEDIMENT CONTROL ON THE SITE. DURING THE COURSE OF CONSTRUCTION IT IS THE RESPONSIBILITY OF THE PERMITEE/CONTRACTOR TO MONITOR CONDITIONS THAT MAY BE CREATED BY CONSTRUCTION ACTIVITIES AND/OR CLIMATIC EVENTS.

- PROVIDE ADDITIONAL BMP'S OVER AND ABOVE THE MINIMUM REQUIREMENTS SHOWN ON THE PLANS, AS MAY BE NEEDED TO PROVIDE EFFECTIVE PROTECTION OF WATER AND SOIL RESOURCES.
- OPERATE TRACK EQUIPMENT (DOZER) UP AND DOWN EXPOSED SOIL SLOPES ON FINAL PASS. LEAVING TRACK GROOVES PERPENDICULAR TO THE SLOPE. DO NOT BACK-SLIDE. LEAVE A SURFACE ROUGH TO MINIMIZE EROSION.

- ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE STABILIZED FROM EROSION IMMEDIATELY UPON SOIL EXPOSURE. STABILIZATION SHALL BE COMPLETED WITHIN 14 DAYS OF SUBSTANTIAL COMPLETION OF GRADING. IN THAT THE GRASS SEED AND MULCH SHALL COVER ALL EXPOSED SOILS. F. GRADING COMPLETION IS DEFINED AS LONGER THAN 14 DAYS PERMANENT SEED AND MULCH @ 5 TONS PER ACRE AND DRINKING TO A SPECIAL OR IMPAIRED WATER.
- GENERAL TEMPORARY SEED SHALL BE APPLIED @ 100-150 LBS PER ACRE OR APPROVED EQUIVA. PERMANENT SEED SHALL BE APPLIED @ 270 @ 120 LBS PER ACRE TYPE 1 (C-LAM OAT STRAW) @ 2 TONS PER ACRE AND DISK ANCHORED IN PLACE OR APPROVED EQUIVA. FERTILIZER SHALL BE 50-60-80 NPK PER ACRE. (UNLESS RESTRICTIONS APPLY) AND INCORPORATED INTO THE SEED BED.

- ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE PROPERLY DISPOSED OF WITHIN THIRTY (30) DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED.
- REPORT ALL FOUND P.E.2 TILES TO THE ENGINEER FOR EVALUATION.

- CHANNELLED RUNOFF FROM ADJACENT AREAS RUNNING THROUGH THE SITE SHALL BE DIVERTED AROUND DISTURBED AREAS. IF PRACTICAL, INVERTED BARRIERS SHALL BE COMPLETED IN A MANNER THAT WILL NOT ENDOSE THE CONVEYANCE AT RECEIVING CHANNELS.
- ALL TEMPORARY OR PERMANENT SWAGGE CHANNELS MUST BE STABILIZED WITHIN 14 DAYS OF COMPLETION. PERIMETER CONTROL SHALL BE INSTALLED ALONG CHANNEL EDGES TO PREVENT EROSION. PERIMETER CONTROL SHALL BE INSTALLED ALONG CHANNEL EDGES TO PREVENT EROSION. PERIMETER CONTROL SHALL BE INSTALLED ALONG CHANNEL EDGES TO PREVENT EROSION.
- ALL ACTIVITIES ON THE SITE SHALL BE CONDUCTED IN A LOGICAL SEQUENCE TO MINIMIZE THE AREA OF BARE SOIL EXPOSED AT ANY ONE TIME.
- ALL DISTURBED GROUND LEFT INACTIVE FOR 14 OR MORE DAYS MUST HAVE TEMPORARY OR PERMANENT STABILIZATION YEAR ROLES OR WITHIN 7 DAYS WITHIN 1 MILE AND DRAINAGE TO A SPECIAL OR IMPAIRED WATER.

- FOR SITES WITH MORE THAN TEN ACRES DISTURBED AT ONE TIME, OR IF A CHANNEL SEDIMENTATION BASIN SHALL BE CONSTRUCTED. THE CONTRACTOR SHALL HAVE A SURFACE AREA OF AT LEAST ONE PERCENT OF EACH AREAS DRAINAGE. THE CHANNEL SHALL BE AT LEAST ONE FEET OF DEPTH AND CONSTRUCTED IN ACCORDANCE WITH ACCEPTED DESIGN SPECIFICATIONS. SEDIMENT SHALL BE REMOVED TO MAINTAIN A DEPTH OF THREE FEET. THE BASIN DISCHARGE RATE SHALL ALSO BE SUFFICIENTLY LOW AS TO NOT CAUSE EROSION ALONG THE DISCHARGE CHANNEL OR THE RECEIVING WATER.
- PERIMETER SEDIMENT CONTROL MEASURES SHALL BE PLACED ALONG ALL DOWN GRADIENT PERIMETERS OF THE SITE. IF A CHANNEL OR AREA OF CONCENTRATED RUNOFF EXISTS THROUGH THE SITE, PERIMETER SEDIMENT CONTROL MEASURES SHALL BE PLACED ALONG THE CHANNEL EDGES TO REDUCE SEDIMENT REACHING THE CHANNEL. ALL DOWN GRADIENT PERIMETER SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED AND INSPECTED AS NEEDED. PERIMETER SEDIMENT CONTROL.

- PPE OUTLETS MUST HAVE ENERGY DISSIPATION INSTALLED WITHIN 24 HOURS OF CONNECTION TO WATERS OF THE STATE.

SEDMEN CONTROL PRACTICES :

- INCLUDING CURB AND GUTTER SYSTEMS AND STORM MILETS.
- SEDIMENT CONTROL PRACTICES MUST BE ESTABLISHED ON ALL DOWN GRADIENT PERIMETERS INCLUDING CURB AND GUTTER SYSTEMS AND STORM MILETS. THESE PRACTICES SHALL REMAIN IN PLACE UNTIL FINAL STABILIZATION HAS BEEN ESTABLISHED.
- THE TIMING OF THE INSTALLATION OF SEDIMENT CONTROL PRACTICES MAY BE ADJUSTED TO ACCOMMODATE SHORT-TERM ACTIVITIES SUCH AS CLEARING OR GRUBBING OR PASSAGE OF TRUCKS AND SHORT-TERM ACTIVITY MUST BE COMPLETED AS QUICKLY AS POSSIBLE AND THE COMPLETED SWAGGE SEDIMENT CONTROL PRACTICES SHALL BE INSTALLED IMMEDIATELY AFTER THE PRECIPITATION EVENT. EVEN IF THE ACTIVITY IS NOT COMPLETE.
- ALL STORM DRAINAGE MILETS MUST BE PROTECTED BY APPROPRIATE BMP'S DURING CONSTRUCTION UNTIL ALL SOURCES WITH POTENTIAL FOR DISCHARGING INTO THE MLET HAVE BEEN ESTABLISHED.
- TEMPORARY SOIL STOCKPILES MUST BE MAINTAINED WHEN SEDIMENT REACHES 1/2 THE OUTLET HEIGHT OR 1/2 THE BASIN STORAGE VOLUME. BASINS MUST BE GRADDED OR SEDIMENT REMOVED WITHIN 72 HOURS OF DISCOVERY.

EROSION AND SEDIMENT CONTROL INSPECTION PROGRAM

THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONDUCTING INSPECTIONS OF ALL EROSION AND SEDIMENT CONTROL BMP'S ON SITE. INSPECTIONS AND REPAIRS SHALL BE DOCUMENTED AND READILY AVAILABLE FOR REVIEW. INSPECTIONS ARE REQUIRED AS FOLLOWS:

- ONCE EVERY SEVEN DAYS ON EXPOSED SOIL AREAS.
 - WITHIN 24 HOURS AFTER A ONE-HALF INCH OR GREATER RAIN EVENT OVER 24 HOURS.
 - ONCE EVERY 30 DAYS ON STABILIZED AREAS.
 - AS SOON AS RUNOFF OCCURS OR PRIOR TO RESUMING CONSTRUCTION ON FROZEN GROUND.
- EROSION AND SEDIMENT CONTROL MAINTENANCE PROGRAM :**
- WHEN SEDIMENT REACHES 1/3 THE HEIGHT OF THE BMP OR PERIMETER CONTROL DEVICES, SEDIMENT MUST BE REMOVED WITHIN 24 HOURS OF DISCOVERY.
 - IF THE PERIMETER CONTROL DEVICE IS NOT FUNCTIONAL, IT MUST BE REPAIRED OR REPLACED WITHIN 24 HOURS OF DISCOVERY.
 - TEMPORARY SEDIMENT BASINS SHALL BE MAINTAINED WHEN SEDIMENT REACHES 1/2 THE OUTLET HEIGHT OR 1/2 THE BASIN STORAGE VOLUME. BASINS MUST BE GRADDED OR SEDIMENT REMOVED WITHIN 72 HOURS OF DISCOVERY.
 - SEDIMENT MUST BE REMOVED FROM PAVED SURFACES WITHIN 24 HOURS OF DISCOVERY.
 - EROSION INTO STREETS, WETLANDS OR WATER BODIES :
 - F. ERODED SOILS (INCLUDING TRACKED SOILS FROM CONSTRUCTION ACTIVITIES) ENTER OR NEAR LIKELY TO ENTER STREETS, WETLANDS OR OTHER WATER BODIES. PREVENTION MEASURES MUST BE INSTALLED IMMEDIATELY TO PREVENT EROSION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING AND REPAIRING ALL LOCAL ACCESSES AS NECESSARY. THE TRAVELING PUBLIC DURING CLEANUP OPERATIONS.

- EROSION OFF-SITE :
 - F. EROSION BREACHES THE PERMETER OF THE SITE. THE OWNER SHALL IMMEDIATELY DEVELOP A CLEANUP AND RESTORATION PLAN. OBTAIN RIGHT-OF-ENTRY FROM THE ADJACENT PROPERTY OWNER AND GET APPROPRIATE APPROVALS FROM ALL STATE, FEDERAL AND LOCAL AGENCIES AS NECESSARY. THEN IMPLEMENT THE CLEANUP AND RESTORATION PLAN. APPROVAL FROM ANY APPROPRIATE STATE, FEDERAL, AND LOCAL AGENCIES.

CONSTRUCTION SITE PRACTICES :

- WASTE AND MATERIAL DISPOSAL :
 - ALL WASTE, UNUSED BUILDING MATERIAL (INCLUDING GARBAGE DEBRIS, CLEANING SUPPLIES, WASTEWATER TOXIC MATERIALS OR HAZARDOUS MATERIALS), COLLECTED MATERIALS, AND OTHER WASTE SHALL BE STORED IN A DESIGNATED AREA. ALL WASTE SHALL BE CONTAINED ON SITE AND DEPOSITED OFF SITE. NOT ALLOWED TO BE CARRIED BY RUNOFF INTO RECEIVING CHANNEL OR STORAGE SEWER SYSTEM.
- HAZARDOUS MATERIALS :
 - ALL OIL, GASOLINE, PAINT AND ANY HAZARDOUS SUBSTANCES MUST BE PROPERLY STORED, INCLUDING SECONDARY CONTAINMENT, TO PREVENT SPILL, LEAKS, OR OTHER DISCHARGE.
 - RESTRICTED ACCESS TO STORAGE AREAS MUST BE PROVIDED TO PREVENT VANDALISM.
 - CONCRETE WASTE MUST BE LIMITED TO A DEFINED AREA OF THE SITE AND RUNOFF MUST BE CONTAINED WITHIN THE DEFINED AREA.
 - STORAGE OF HAZARDOUS WASTE MUST BE IN COMPLIANCE WITH MPCA REGULATIONS.
- LIQUID WASTE :
 - ALL NON STORMWATER DISCHARGES (CONCRETE TRUCK WASHOUT VEHICLE WASHING, MAINTENANCE SPILLS, ETC.) COLLECTED DURING THE CONSTRUCTION ACTIVITY MUST COMPLY WITH THE NEWEST VERSION OF THE STATE WATERS PERMIT.
- SANITARY FACILITIES :
 - ADEQUATE ON-SITE SANITARY FACILITIES SHALL BE PROVIDED IN CONFORMANCE WITH LOCAL ORDINANCES FOR ALL PERSONS WHO WORK ON THE SITE.
- TRACKING :
 - EACH SITE SHALL HAVE GRAVELLED ROADS, ACCESS DRIVES AND PARKING AREAS OF SUFFICIENT WIDTH TO PREVENT SEDIMENT FROM BEING TRACKED ONTO PUBLIC OR PRIVATE ROADWAYS.
 - ANY SEDIMENT REACHING A PUBLIC OR PRIVATE ROAD SHALL BE REMOVED BY STREET CLEANING BEFORE THE END OF EACH WORKDAY.
- URBAN MLET PROTECTION :
 - ALL STORM DRAIN MILETS SHALL BE PROTECTED DURING CONSTRUCTION WITH CONTROL MEASURES AS APPROVED BY THE CITY.
 - THESE DEVICES SHALL REMAIN IN PLACE UNTIL FINAL STABILIZATION OF THE SITE.
 - A REGULAR INSPECTION AND MAINTENANCE PLAN SHALL BE DEVELOPED AND IMPLEMENTED TO ASSURE THESE DEVICES ARE OPERATIONAL AT ALL TIMES.
- EXTERNAL WASHING OF TRUCKS AND OTHER CONSTRUCTION VEHICLES MUST BE LIMITED TO A DEFINED AREA OF THE SITE. RUNOFF MUST BE CONTAINED AND WASTE PROPERLY DISPOSED. NO ENGINE OIL DRAINAGE IS ALLOWED ON SITE.

GRAZING GENERAL NOTES :

- PRIOR TO INITIAL GRADING, THE CONTRACTOR IS RESPONSIBLE TO MAKE SURE ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED.
- ABSOLUTELY NO CONSTRUCTION GRADING OR FABRICATION SHALL BEGUN UNTIL:
 - THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
 - ALL NECESSARY BMP'S ARE INSTALLED.
- GOVER STATE ONE CALL (800) 252-1168. MUST BE NOTIFIED 48 HOURS PRIOR TO START OF CONSTRUCTION.
- ROCK CONSTRUCTION ENTRANCES (PER THE STANDARD DETAIL PLATE) MUST BE PROVIDED AT ALL CONSTRUCTION SITE ACCESS POINTS.
- TEMPORARY SEDIMENT POND(S) MUST BE ESTABLISHED IN PHASE I, IN ORDER TO CAPTURE RUNOFF DURING GRADING OF THE CONSTRUCTION SITE.
- ALL IMPROVEMENTS TO CONFORM TO CITY AND COUNTY'S LATEST STANDARDS SPECIFICATION.
- TOPSOIL MUST BE STRIPPED PRIOR TO ANY CONSTRUCTION REUSE STOCKPILE ON SITE.
- IMMEDIATELY FOLLOWING GRADING OF (3:1 OR GREATER) SIDE SLOPES AND DRAINAGE SWALES, WOOD FIBER BARRIERS OR OTHER APPROVED SOIL STABILIZING METHOD (AS APPROVED BY ENGINEER) MUST BE APPLIED OVER SEED MULCH WITH A MINIMUM OF 9" TOPSOIL.
- ALL FINISHED GRADES MUST SLOPE AWAY FROM PROPOSED BUILDINGS AT MINIMUM GRADE OF 2.0%.
- CONTRACTOR IS REQUIRED TO KEEP A COPY OF THE EROSION CONTROL PLAN ON SITE AT ALL TIMES.

SITE DEWATERING PRACTICES :

- WATER PUMPED FROM THE SITE SHALL BE TREATED BY TEMPORARY SEDIMENTATION BASINS, OIL CHAMBERS, SAND FILTERS, UPTOW CHAMBERS, HYDRO-CYCLES, SWIRL CONCENTRATORS OR OTHER METHODS THAT WILL REMOVE ALL OIL AND GREASE. ALL WATER FROM DEWATERING MUST BE DISCHARGED TO A WATERWAY THAT DOES NOT RECEIVE TREATMENT. CONCENTRATORS RECEIVING CHANNELS OR DRAINAGE PROPERTIES OR ILLUMINATION IN WETLANDS CAUSING SIGNIFICANT ADVERSE IMPACT TO THE WETLAND.
- ALL DISCHARGE POINTS MUST BE ADEQUATELY PROTECTED FROM EROSION AND SCOUR. THE WATER MUST BE DISCHARGED TO A SPECIAL OR IMPAIRED WATER. ALL DISCHARGE POINTS MUST BE PROTECTED BY APPROPRIATE BMP'S DURING CONSTRUCTION UNTIL ALL SOURCES WITH POTENTIAL FOR DISCHARGING INTO THE MLET HAVE BEEN ESTABLISHED.

- TEMPORARY STABILIZATION :
 - THE CONTRACTOR MUST ENSURE FINAL STABILIZATION OF THE SITE. THE CONTRACTOR MUST SUBMIT A NOTICE OF TERMINATION (NOT) WITHIN 14 DAYS OF COMPLETION OF THE SITE. ON ANOTHER UNDEROPERATION (PERMITS) HAS ASSIGNED TO THE CONTRACTOR. THAT HAVE NOT UNDEROPERATION (PERMITS) HAS ASSIGNED TO THE CONTRACTOR. OF THE FOLLOWING WAYS:
- ALL SOIL DEWATERING ACTIVITIES AT THE SITE HAVE BEEN COMPLETED AND ALL SOILS MUST BE STABILIZED BY THE CONTRACTOR WITHIN 14 DAYS OF COMPLETION OF THE SITE. THE ENTIRE PREVIOUS SURFACE AREA OF OTHER EQUIVALENT MEANS NECESSARY TO PREVENT SOIL FAILURE UNDER EROSION CONDITIONS AND:

- ALL DRAINAGE DITCHES CONSTRUCTED TO DRAIN WATER FROM THE SITE AFTER CONSTRUCTION IS COMPLETE, MUST BE STABILIZED TO PRECLUDE EROSION.
- ALL TEMPORARY SYNTHETIC AND STRUCTURAL EROSION PREVENTION AND SEDIMENT BMP'S (SUCH AS SILT FENCES) MUST BE REMOVED AS PART OF THE SITE FINAL STABILIZATION.
- THE CONTRACTORS MUST CLEAN OUT ALL SEDIMENT FROM CONVEYANCES AND FROM TEMPORARY SEDIMENT BASINS THAT ARE TO BE USED AS PERMANENT WATER QUALITY IMPROVEMENT MEASURES. THE BASIN CONVEYANCES OR DRAINAGE CHANNELS MUST BE WASHED BACK INTO THE BASIN CONVEYANCES OR DRAINAGE CHANNELS. THE CLEAN OUT MUST BE SUFFICIENT TO RETURN THE BASIN TO DESIGN CAPACITY.

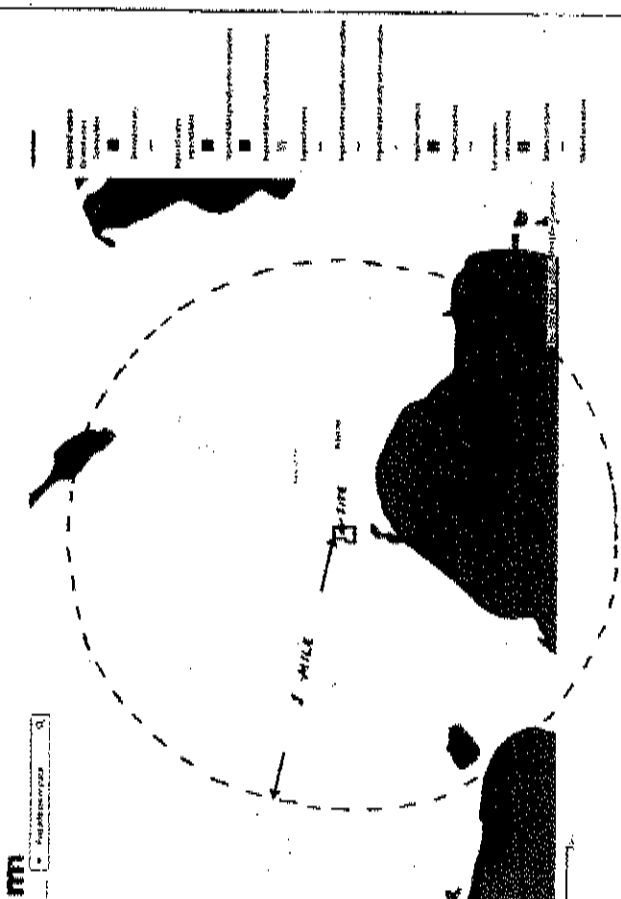
ESTIMATED EROSION & SEDIMENT CONTROL QUANTITIES

- SILT FENCE @ 500 LF
SEEDING & MULCHING @ 0.5 AC
TRAINED PERSONNEL
THE PERMITTEES DO NOT KNOW THE NAMES OF THE INDIVIDUALS AT THE TIME OF APPLICATION. THEY WILL ENSURE THEY DOCUMENT TRAINING BEFORE CONSTRUCTION ACTIVITY COMMENCES.
- SOIL COMPACTION & TOPSOIL**
- DISTURBED SOILS ARE TO BE SCARIFIED TO A 6" DEPTH PRIOR TO PLACING EXISTING STOCKPILED SWAMP AMENDMENTS.

THE QUALIFIED PERSONNEL, CHOSEN BY THE PERMITEE, SHALL COMPLETE ALL SWPPP CHARGES & MUST ANSWER THE SWPPP TO INCLUDE ADDITIONAL OR MODIFIED BMP'S AS NECESSARY.

IMPAIRED WATERS

ACCORDING TO IMPROVEMENT MAPS THESE ARE IMPAIRED WATERS WITHIN 1 MILE OF THIS SITE.



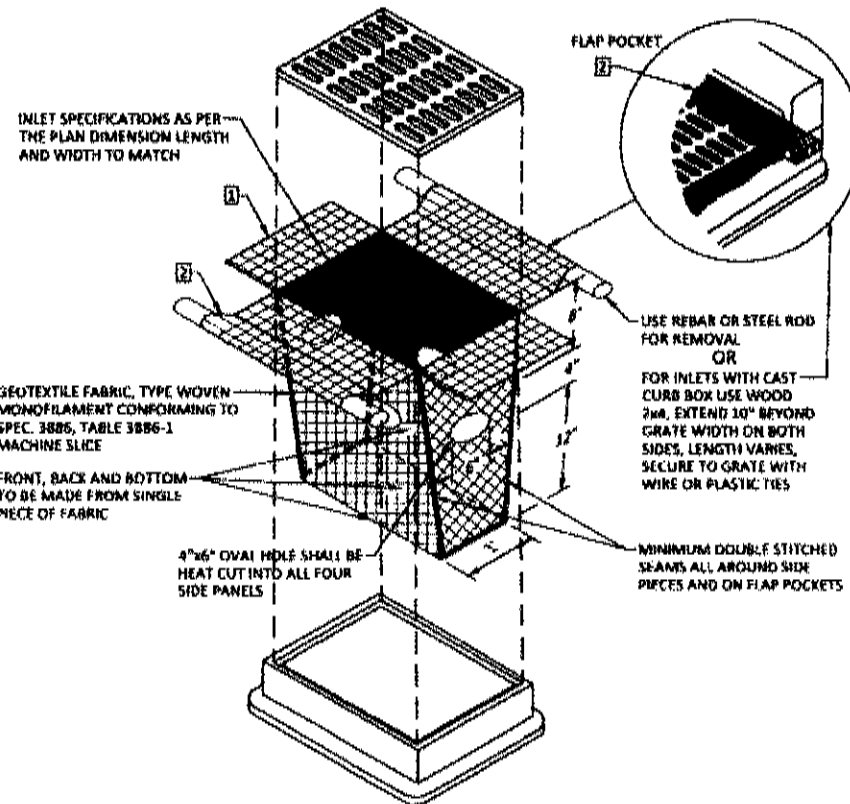
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WESTWAY CONDOMINIUMS
201 LAKE STREET EAST, WAYZATA, MINNESOTA

STORMWATER POLLUTION PREVENTION PLAN

PUD GENERAL PLAN
REVISED JUNE 28, 2023



NOTES:

1. INLET PROTECTION DEVICES SHALL BE MAINTAINED OR REPLACED AT THE DIRECTION OF THE ENGINEER. MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE DEPARTMENT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED. WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SPEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL IN THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.

2. FINISHED SIZE, INCLUDING POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.

FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2x4.

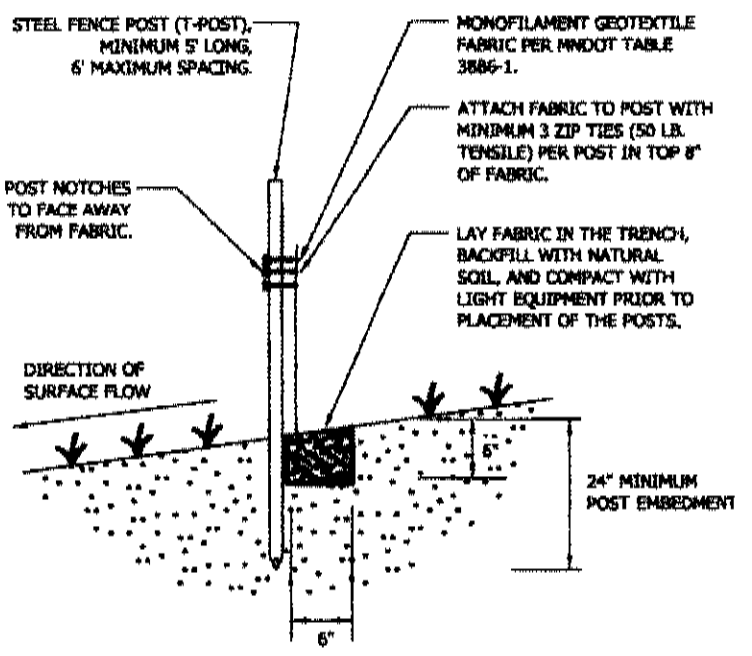
INSTALLATION NOTES:

DO NOT INSTALL PROTECTION IN INLETS SHALLOWER THAN 30", MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.

TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.

THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3". WHERE NECESSARY THE CONTRACTOR SHALL CLUNCH THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.

CATCH BASIN INLET PROTECTION GEOTEXTILE BAG DETAIL
NO SCALE

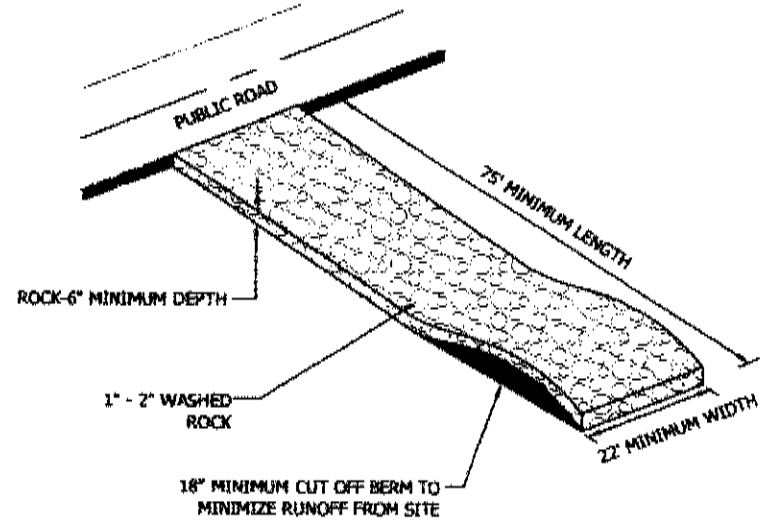


NOTES:

1. SPLICING WILL BE MADE AT OPPOSING SILT FENCE POSTS BY PLACING POSTS AND SILT FENCE NEXT TO EACH OTHER AND ROTATING 360°.

2. HEAVY DUTY SILT FENCE IS MACHINE SLICED TYPE SILT FENCE THAT IS HAND INSTALLED IN AREAS INACCESSIBLE TO EQUIPMENT DUE TO SPACE LIMITATIONS, WET SOILS, STEEP SLOPES, ETC.

SILT FENCE DETAIL
NO SCALE



NOTES:

1. MNDOT 3733 TYPE 4 FILTER FABRIC SHALL BE PLACED UNDER ROCK TO STOP MUD MIGRATION THROUGH MATERIAL.

2. FUGITIVE ROCK WILL BE REMOVED FROM ADJACENT ROADWAYS DAILY OR MORE FREQUENTLY AS NECESSARY.

3. CONSTRUCTION ENTRANCE MUST BE CONSTRUCTED PRIOR TO THE COMMENCEMENT OF GRADING OPERATIONS ON THE SITE.

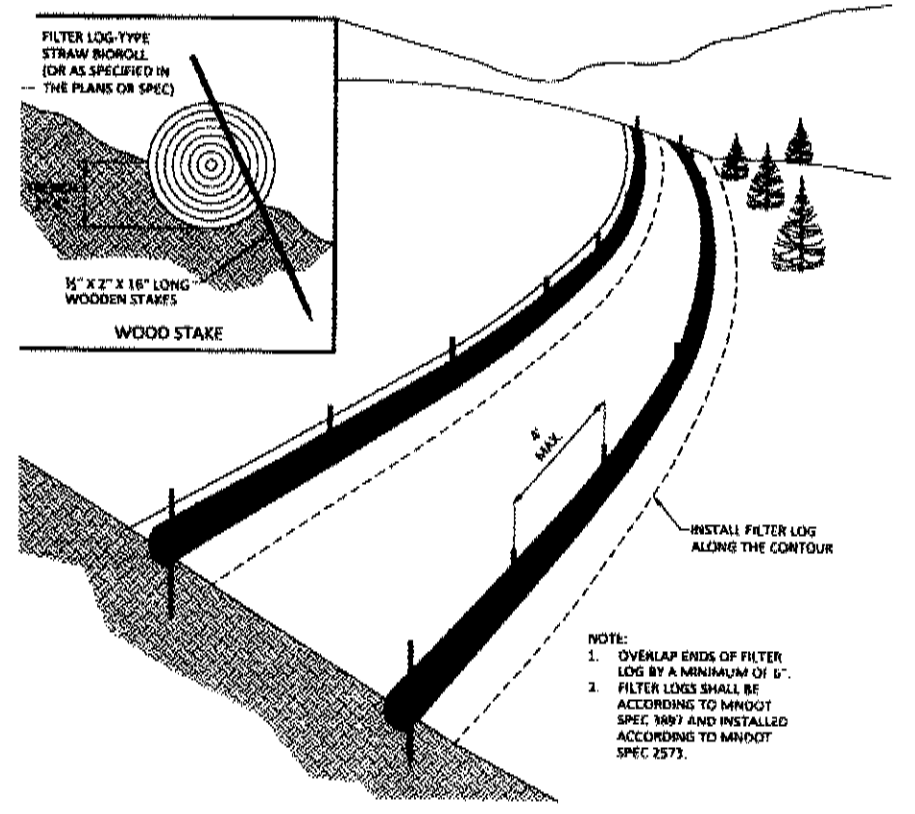
4. THE ENTRANCE MUST BE MAINTAINED IN PROPER CONDITION TO PREVENT TRACKING OF MUD OFF THE SITE. THIS MAY REQUIRE PERIODIC TOPDRESSING WITH ADDITIONAL ROCK OR REMOVAL AND REINSTALLATION OF THE PAD.

5. THIS ENTRANCE WILL BE USED BY ALL VEHICLES ENTERING OR LEAVING THE PROJECT.

6. THE CONSTRUCTION ENTRANCE WILL BE REMOVED PRIOR TO THE PLACEMENT OF BITUMINOUS SURFACING.

7. RESIDENTIAL 25FT WIDTH, COMMERCIAL 50FT WIDTH

ROCK CONSTRUCTION ENTRANCE DETAIL
NO SCALE



NOTE:

1. OVERLAP ENDS OF FILTER LOG BY A MINIMUM OF 6\".

2. FILTER LOGS SHALL BE ACCORDING TO MNDOT SPEC 3887 AND INSTALLED ACCORDING TO MNDOT SPEC 2573.

PERIMETER PROTECTION-FILTER LOG
NO SCALE

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WESTWAY CONDOMINIUMS
201 LAKE STREET EAST, WAYZATA, MINNESOTA

STORMWATER POLLUTION PREVENTION DETAILS

PUD GENERAL PLAN
REVISED JUNE 28, 2023

CIO NO. 0231

S89°20'53"W 229.94

S00°29'41"W 265.74

N00°29'41"E 457.50

S00°29'41"W 130.05

LAKE STREET EAST

EGDEWOOD COURT

LAURENT OFFICES

1ST ADDITION

BLOCK 1

Tree #	Species	DBH	Condition	Stems	Heritage
1	Spruce, white	6.5	Fair	1	No
2	Spruce, blue	8.0	Fair	1	No
3	Spruce, blue	12.0	Good	1	No
4	Cottonwood	15.5	Good	1	No
5	Cottonwood	20.5	Good	1	No
6	Cottonwood	24.0	Good	1	No
7	Elm, Siberian	12.5	Good	1	No
8	Cottonwood	25.5	Good	1	No
9	Cottonwood	24.0	Good	1	No
10	Cottonwood	24.0	Good	1	No
11	Larix, black	7.0	Fair	1	No
12	Larix, black	20.0	Good	1	No
13	Basswood	12.0	Fair	1	No
14	Flm, American	16.0	Fair	1	No
15	Ash, green	20.0	Good	1	No
16	Ash, green	14.0	Good	1	No
17	Ash, green	20.0	Good	1	No
18	Basswood	14.0	Fair	1	No
19	Ash, green	25.5	Good	2	No
20	Larix, black	7.5	Good	1	No
21	Larix, black	11.0	Good	1	No
22	Ash, green	10.5	Good	1	No
23	Ash, green	6.5	Good	1	No
24	Ash, green	10.0	Good	1	No
25	Cottonwood	62.0	Good	2	Yes
26	Ash, green	33.0	Good	1	Yes
27	Ash, green	12.0	Good	1	No
28	Ash, green	15.0	Good	1	No
29	Ash, green	10.5	Good	1	No
30	Ash, green	18.5	Fair	1	No
31	Ash, green	13.0	Fair	1	No
32	Ash, green	8.0	Fair	1	No
33	Basswood	18.5	Fair	1	No
34	Cottonwood	18.5	Good	1	No
35	Ash, green	9.0	Fair	1	No
36	Cottonwood	28.0	Good	1	No
37	Ash, green	7.5	Good	1	No
38	Cottonwood	45.0	Good	1	Yes
39	Cottonwood	36.0	Good	1	Yes
40	Basswood	25.0	Fair	2	No
41	Ash, green	13.5	Good	1	No
42	Basswood	14.0	Fair	1	No
43	Ash, green	12.0	Fair	1	No
44	Ash, green	10.0	Good	1	No
45	Ash, green	7.5	Fair	1	No
46	Ash, green	10.0	Good	1	No
47	Ash, green	8.5	Good	1	No
48	Ash, green	8.5	Good	1	No
49	Ash, green	10.0	Good	1	No
50	Ash, green	11.5	Fair	1	No
51	Ash, green	7.0	Good	1	No
52	Ash, green	10.0	Good	1	No
53	Ash, green	10.5	Fair	1	No
54	Ash, green	20.0	Good	1	No
55	Ash, green	10.5	Good	1	No
56	Ash, green	10.5	Good	1	No
57	Ash, green	9.5	Good	1	No
58	Ash, green	13.0	Fair	1	No
59	Ash, green	13.0	Good	1	No
60	Ash, green	13.5	Good	1	No
61	Ash, green	9.0	Good	1	No
62	Ash, green	7.5	Good	1	No
63	Ash, green	8.5	Good	1	No
64	Ash, green	14.0	Good	1	No
65	Ash, green	12.0	Good	1	No
66	Ash, green	12.0	Good	1	No
67	Ash, green	8.0	Fair	1	No
68	Ash, green	12.5	Good	1	No
69	Crabapple	9.0	Fair	1	No
70	Crabapple	7.0	Fair	1	No
71	Ash, green	9.0	Good	1	No
72	Ash, green	8.0	Good	1	No
73	Ash, green	9.5	Good	1	No
74	Cottonwood	26.0	Good	1	No
75	Basswood	22.0	Fair	1	No
76	Crabapple	9.5	Fair	1	No
77	Crabapple	6.0	Fair	1	No
78	Basswood	16.0	Fair	1	No
79	Willow	15.5	Good	1	No
80	Ash, green	10.0	Good	1	No
81	Ash, green	7.0	Fair	1	No
82	Honeylocust	7.5	Fair	1	No
83	Honeylocust	7.0	Good	1	No
84	Ash, green	17.0	Good	2	No
85	Hackberry	8.0	Good	1	No
86	Hackberry	8.5	Fair	1	No
87	Spruce, blue	15.0	Fair	1	No
88	Honeylocust	12.5	Good	1	No
89	Hackberry	12.5	Good	1	No
90	Crabapple	11.5	Good	1	No
91	Crabapple	8.5	Good	1	No
92	Hackberry	11.5	Good	1	No
93	Honeylocust	10.5	Good	1	No
94	Crabapple	9.0	Fair	1	No
95	Crabapple	10.5	Good	1	No
96	Hackberry	11.5	Good	1	No
97	Spruce, white	9.0	Fair	1	No
98	Honeylocust	9.5	Good	1	No

DESCRIPTION OF PROPERTY SURVEYED

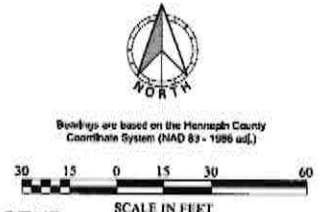
STANDARD NOTES

- 1) Site Address: 201 Lake Street East, Wayzata, Minnesota 55391
- 2) A title opinion was not furnished to the surveyor as part of this survey. Only easements per the recorded plat are shown unless otherwise demanded herein.
- 3) Flood Zone Information: X (area determined to be outside of the 0.2% annual chance floodplain) per Flood Insurance Rate Map, Community Panel No. 27005L0007T effective date of November 4th, 2016.
- 4) Parcel Area Information: Gross Area: 118,972 s.f. - 2.731 acres
- 5) Benchmark: Elevations are based on Wayzata benchmark number 480 which has an elevation of 940.11 feet (NGVD29).
- 6) Zoning Information: The current zoning for the subject property is C-4A (Limited Central Business) per the City of Wayzata zoning map dated May 18, 2021. The setback, height, and floor space area restrictions for said zoning designation are as follows:
 - Setback: 0 feet (Lake Street & Edgewood Court)
 - Side: 0 feet
 - Rear: 20 feet (Per adjacent zoning)
 - FAR: 2.0
 - Height: 30 feet, two stories

Please note that the zoning information shown herein may have been amended through a city process. We recommend that a zoning letter be obtained from the Zoning Administrator for the current restrictions for this site. All setback information and hardware data for planning and design must be verified by all parties involved in the design and planning process.

We have not received the current zoning classification and building setback requirements from the insurer.

Utilities: We have shown the location of utilities on the surveyed property by observed evidence only. There may be underground utilities encumbering the subject property not shown here. Please note that we have not placed a Gopher State One Call for this survey. There may or may not be underground utilities in the mapped area, therefore excavation should be exercised before any excavation takes place on or near this site. Also, please note that seasonal conditions may inhibit our ability to visually observe all the utilities located on the subject property. Before digging, you are required by law to notify Gopher State One Call at least 48 hours in advance at 651-434-0000.



SURVEY LEGEND

<ul style="list-style-type: none"> CAST IRON MONUMENT IRON PIPE MONUMENT SET IRON PIPE MONUMENT FOUND DRILL HOLE FOUND SHORTED "X" MONUMENT SET CHEELED "X" MONUMENT FOUND REBAR MONUMENT FOUND PK NAIL MONUMENT SET PK NAIL MONUMENT FOUND PK NAIL w/ ALUMINUM DISC SURVEY CONTROL POINT A/C UNIT CABLE TV PEDIMENT ELECTRIC TRANSFORMER ELECTRIC MANHOLE ELECTRIC METER ELECTRIC OUTLET YARD LIGHT LIGHT POLE FIBER OPTIC MANHOLE FIRE DEPT. HOOK UP FLAG POLE FUEL PUMP FUEL TANK PROPANE TANK GAS METER GAS VALVE GAS MANHOLE GENERATOR GUARD POST HAND HOLE MAIL BOX 	<ul style="list-style-type: none"> MILCOM TEE FLOW POLE GUY WIRE ROOF DRAIN LIFT STATION SANITARY MANHOLE SANITARY CLEANOUT STORM MANHOLE STORM URNIN CATCH BASIN FLARED END SECTION TREE CONIFEROUS TREE DECIDUOUS TREE CONIFEROUS REMOVED TREE DECIDUOUS REMOVED TELEPHONE MANHOLE TELEPHONE PEDestal UTILITY MANHOLE UTILITY PEDestal FIBER OPTIC MANHOLE WATERMAY MANHOLE WATER METER WATER SPOUT WELL MONITORING WELL CURB STOP GATE VALVE HYDRANT IRRIGATION VALVE POST INDICATOR VALVE DCN SOE BORING 	<ul style="list-style-type: none"> W/OE WALKOUT ELEVATION FFT (FIRST FLOOR) ELEVATION GFC GARAGE FLOOR ELEVATION TOF TOP OF FOUNDATION ELEV LOE LOWEST OPENING ELEV CONCRETE BITUMINOUS BUILDING EXISTING CONTOUR PROVIDED GUARD RAIL CHAIN LINK ELECTRIC UNDERGROUND FENCE PRIOR OPTIC UNDERGROUND CAS UNDERGROUND OVERHEAD UTILITY TREE LINE SANITARY SEWER STORM SEWER TELEPHONE UNDERGROUND RETAINING WALL UTILITY UNDERGROUND WATERMAIN RAILROAD TRACKS RAILROAD SIGNAL RAILROAD SWITCH SATELLITE DBM WETLAND BUFFER SIGN
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FIELD CREW	NO.	BY	DATE	REVISION
XXX				
DRAWN				
CHECKED				
DATE				
6-24-2021				

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I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.
 Dated this 14th day of July, 2021.
Daniel L. Schmidt
 Daniel L. Schmidt, PLS
 schmidt@sathre.com
 Minnesota License No. 26147

ENGINEERS SURVEYORS
SATHRE-BERGQUIST, INC.
 150 SOUTH BROADWAY WAYZATA, MN. 55391 (952) 476-0000
 WWW.SATHRE.COM

TWP:117-RGE-22-SEC.06
 Hennepin County
WAYZATA, MINNESOTA

CERTIFICATE OF SURVEY
 PREPARED FOR:
LNR PROPERTIES

FILE NO.
 51555-001

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