

WAYZATA PLANNING COMMISSION

Meeting Agenda

Wayzata City Hall Community Room, 600 Rice Street

Monday, February 6, 2023

6:30 PM

HYBRID MEETING INFORMATION

[Click here to join Zoom Meeting](#)

Meeting ID: 828 8245 9669 Passcode: 529437

Members of the public may attend this Planning Commission meeting in person, provided they follow all City policies and protocols related to the pandemic.



Members of the public may watch and listen remotely by viewing the meeting on Channel 8, WCTV, and at the City's website at www.wayzata.org/WCTV.

Public comment during the Public Forum and/or Public Hearing portions of the meeting may be provided in person at the meeting, in advance, or by logging into the zoom call and raising your hand during the public hearing. **When your name is called in the meeting, you will be seen and heard in our Council Chambers and the cable channel.**

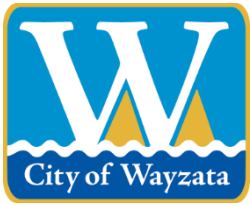
You will be asked to unmute and then you may begin your comment. All public comments must include your full name and address.

The City encourages comments or questions about items on the agenda and, when possible, requests that you submit them in advance by emailing PublicComment@wayzata.org, calling City staff at 952-404-5323, or mailing Wayzata City Hall at 600 Rice St E, Wayzata, MN 55391 (Attn: Public Comment).

1. **Call to Order**
2. **Roll Call**
3. **Approval of Agenda**
4. **Consent Agenda**
 - a. Approval of Meeting Minutes of January 23, 2023
 - b. Approval of Planning Commission Report and Recommendation of Approval for Development Application for Cantissimo Senior Living at 15419/15429 Wayzata Blvd and 1405 Holdridge Terrace
 - c. Approval of Planning Commission Report and Recommendation of Denial for Development Application for Black Dog Homes Addition at 1030 Lake St E
5. **Public Hearing Items**
 - a. Consider Development Application for Wayzata Country Club at 200 Wayzata Blvd W
6. **Other Items**
 - a. Review of Development Activities
 - b. Planning Commission Meeting Schedule
7. **Adjournment**

Upcoming Meetings:
City Council - February 7, 2023
Planning Commission - February 27, 2023

Members of the Planning Commission and some staff members may gather at the Wayzata Bar and Grill immediately after the meeting for a purely social event. All members of the public are welcome.



**City of Wayzata
Planning Commission
Agenda Report**

MEETING DATE: February 6, 2023	AGENDA ITEM: 4.a
TITLE: Approval of Meeting Minutes of January 23, 2023	
PREPARED BY: Valerie Quarles, Assistant Planner	
REVIEWED BY: Emily Goellner, Community Development Director	
60 DAY DEADLINE: N/A	

BACKGROUND:

See the attached meeting minutes of January 23, 2023.

ACTION REQUESTED:

Staff recommends approval of the attached regular meeting minutes of January 23, 2023 .

ATTACHMENTS:

1. Planning Commission Meeting Minutes of January 23, 2023

1 **WAYZATA PLANNING COMMISSION**
2 **MEETING MINUTES**
3 **JANUARY 23, 2023**

4
5
6 **AGENDA ITEM 1. Call to Order**

7
8 Chair Stockton called the meeting to order at 6:30 p.m.

9
10 Chair Stockton read a prepared statement on public participation in the meeting.

11
12 **AGENDA ITEM 2. Roll Call**

13
14 Chair Stockton asked Community Development Director Goellner to take roll call.

15
16 Present at roll call were Commissioners Merriam, Stockton, Schwalbe, Severson, and Elg.
17 Community Development Director Emily Goellner, Assistant Planner Valerie Quarles, and City
18 Attorney David Schelzel were also present.

19
20 Absent at roll call were Commissioners Sorensen and Douglas.

21
22 **AGENDA ITEM 3. Approval of Agenda**

23
24 Chair Stockton asked for a motion to approve the agenda for the meeting.

25
26 Commissioner Merriam made a motion, seconded by Commissioner Schwalbe, to approve the
27 January 23, 2023 agenda as presented. The motion carried unanimously.

28
29 **AGENDA ITEM 4. Consent Agenda**

- 30
31 **a.) Approval of the January 4, 2023 Regular Meeting and Workshop Minutes**
32 **b.) Approval of Planning Commission Report and Recommendation of Approval for**
33 **Zoning Ordinance Amendments Related to Solar Energy Systems**

34
35 Chair Stockton read the items on the consent agenda and asked if any Commissioner wished to
36 pull an item for further discussion.

37
38 Hearing no such request, Chair Stockton asked for a motion to approve the Consent Agenda as
39 presented.

40
41 Commissioner Schwalbe made a motion, seconded by Commissioner Elg, to approve the Consent
42 Agenda as presented. The motion carried unanimously.

43
44 **AGENDA ITEM 5. Public Hearing Items**

45

1 **a) Consider Development Application for Black Dog Homes Addition at 1030 Lake**
2 **Street E**

3
4 Assistant Planner Valerie Quarles reviewed the development application for a subdivision
5 submitted by Black Dog Homes Addition at 1030 Lake Street E. She reviewed the zoning and
6 land use of the surrounding neighborhood, existing conditions and the request to subdivide the
7 parcel into three parcels, demolish the existing home and garage, and build a new home on each
8 parcel. She reviewed the proposed site plans for all three lots and gave an overview of the
9 wetland/buffer areas and the possible need for future stormwater mitigation on some of the lots.
10 She noted that the dimensions proposed for the lots are compliant with City zoning ordinance. She
11 reviewed the plans for tree removal/preservation, including trees that have been previously
12 removed in expectation of development, and gave an overview of tree replacement plans. She
13 briefly reviewed the comments submitted by the City's Engineering Department. She stated that
14 the City has received two public comments in advance on this proposal that expressed concerns
15 about the wetland, tree loss, the number of proposed homes, and street parking. She reminded the
16 Commission of the primary questions they should take into consideration when evaluating this
17 request.

18
19 At the conclusion of Planner Quarles presentation, Chair Stockton asked if the Commission had
20 any questions for Staff.

21
22 Commissioner Schwalbe stated that 2019 was a particularly wet season and Lake Minnetonka was
23 high. She asked if staff was aware if that wet season had caused any problems on this parcel.

24
25 Planner Quarles stated that she wasn't sure, and explained that the wetland delineation that they
26 are looking at was completed after 2019.

27
28 Commissioner Schwalbe stated that she can remember walking by this parcel during that particular
29 time frame and found that it was very soggy. She asked if staff had any data about flooding of the
30 existing house.

31
32 Planner Quarles stated that she did not have that information.

33
34 Community Development Director Goellner stated that they are not aware of any flooding issues
35 and as far as the City knows, this area is not located within a flood plain nor was it mentioned by
36 Engineering as an area of concern. She reminded the Commission that soil borings will be required
37 as part of the building permit process, so the stability of the ground will be looked at more closely.

38
39 Chair Stockton asked for clarity on the calculation for pervious surface requirements on the parcel
40 that would contain the wetland.

41
42 Planner Quarles stated that the wetland does not factor into that calculation, and the City would
43 just be looking at the size of the parcel and the size of the footprint.

44
45 Commissioner Merriam asked for details on which trees on the parcel would be considered
46 heritage trees.

1
2 Planner Quarles stated that she believed that there are some heritage trees on the property near
3 Lake Street. She stated that quite a few of them will be coming down, but some would be spared.
4
5 Commissioner Merriam stated that it appears as though there are a lot of trees that will be taken
6 down right along Lake Street.
7
8 Commissioner Schwalbe stated that she remembers when quite a few trees were taken down back
9 in 2021, and asked if the City had data on how many trees were taken down then and how many
10 will be taken down in the future.
11
12 Planner Quarles noted that information was included in the staff report, and asked for a minute to
13 pull up that information.
14
15 Commissioner Merriam stated that one of the comments in the letter the City received in advance
16 on the application mentioned street parking, and asked if that had been part of the conversation
17 amongst staff. She stated that it is pretty tight in this area and is essentially a one-way street.
18
19 Planner Quarles stated that was not a concern from an engineering point of view, in terms of traffic.
20 She noted that the City does require a certain number of parking spots, per home, on the property.
21 She explained that street parking is kind of an extra thing, and not something that the City requires.
22
23 Commissioner Schwalbe asked if this street was a one-way or a two-way street.
24
25 Commissioner Merriam explained that it is a two-way street.
26
27 Commissioner Schwalbe stated that the street is remarkably narrow, and asked if there was
28 someone parked on the street whether other cars would be able to get through. She stated that if
29 the City Engineer took that into consideration and did not see it as a problem, then she would
30 assume that traffic will flow successfully through the area.
31
32 Commissioner Merriam explained that her comment saying that this was ‘essentially a one-way
33 street’ meant that you can enter the neighborhood on the corner, but you cannot exit there and
34 would have to go out a different way.
35
36 Commissioner Severson asked if there was anything the Commission needed to take into
37 consideration with regard to the railroad.
38
39 Planner Quarles stated that she does not believe the railroad has to weigh in for development on
40 adjacent properties, especially because the construction impacts for these parcels are located as far
41 from the railroad as they can be. She clarified that there was not a requirement to specifically
42 notify the railroad for this project.
43
44 Commissioner Severson confirmed that other than the request for subdivision, there are no other
45 requests, such as a variance, that need to be considered because the proposed lots are compliant
46 with City Code.

1
2 Planner Quarles confirmed that the proposed lots are compliant with City Zoning Code and would
3 not require a variance.
4

5 Commissioner Severson asked if the plan was for the applicant to sell the other two properties to
6 a developer, and asked if the answer to that question would matter to the City.
7

8 Planner Quarles stated that would be a good question for the applicant, but noted that she did not
9 think it would matter to the City in terms of the actual subdivision evaluation and approval criteria.
10

11 There being no additional questions from the Commission for Staff, Chair Stockton invited the
12 applicant to address the Commission.
13

14 Dan Vanderheyden, 312 Hampton Street, Wayzata stated that he is the owner of Black Dog Homes,
15 the Applicant. He stated that they have been in business for 18 years, and noted that he also lives
16 in the neighborhood. He stated that when he first sat down with staff, they talked about trying to
17 find ways to be as respectful as possible with the tree proposal, in particular, and looked for a way
18 to put it together in a way that honored the property and retained as many of the trees as possible.
19 He stated that they also met with Bennett Myhran, the City Forester, in order to understand what
20 had already happened to the lot and what the impact would be with their proposal. He stated that
21 their intent is to build the initial home as a spec home and then sell the other two properties; but
22 also be the builder for those properties and were not intending to sell them to another developer.
23 He stated that they have completed other projects throughout the City, and referenced one they
24 had done at 123 Walker. He reiterated that he lived in this neighborhood and has every intention
25 of building something beautiful that will fit nicely. He stated that most streets in the City are
26 narrow, and there will always be a challenge in where cars will park and ways to get around. He
27 noted that his team of consultants is also present if the Commission has other specific questions.
28

29 Chair Stockton asked if the Commission had any questions for the Applicant.
30

31 Commissioner Elg asked about the possible square footage of the proposed homes.
32

33 Mr. Vanderheyden stated that, he would expect the homes, in general, would be somewhere
34 between 3,000 and 5,000 square feet.
35

36 Commissioner Schwalbe asked if her assumption was correct that the front of each home will
37 primarily be garage space.
38

39 Mr. Vanderheyden stated that for Lots 2 and 3, the homes will be more like that because there is
40 less width to work with. He referenced the project they completed at 123 Walker and noted that
41 he believed they were able to create something beautiful with just 55 feet in width. He stated that
42 for Lot 1, they have done some work with Planner Quarles and staff with regard to the speed bump,
43 and have created more of an arced entrance which he believes will be very elegant. He stated that
44 there are 4-5 trees that are on the east side of that which are shown to be taken down and the reason
45 for that is because the driveway is a bit higher than the trees. He stated that they could circumvent
46 that by putting in a culvert underneath the driveway so they could possible save some of the trees.

1
2 Commissioner Schwalbe stated that from the comments that have come to the City, most seemed
3 to be in favor of developing this parcel because it does not look the best right now. She asked if
4 any consideration had been given to creating two home sites rather than three.

5
6 Mr. Vanderheyden stated that part of the decision is related to economics because the buyer ahead
7 of them bought the lot for a certain amount of money; but he noted that he thinks they have a lot
8 of great ideas in terms of how those houses will be able to have beautiful sight lines.

9
10 Commissioner Schwalbe asked if these would be typical family homes with all the bedrooms on
11 the second floor.

12
13 Mr. Vanderheyden he stated that they will have control of those choices for the spec home, and
14 right now they are planning for a main level master suite with additional bedrooms upstairs.

15
16 There being no questions from the Commission for the Applicant, Chair Stockton opened the
17 public hearing on the application at 7:12 pm.

18
19 Matthew Thompson, 456 Arlington Circle, Wayzata stated that he was here representing Wayzata
20 Sailing which is a 501(c) 3 that serves over 1,200 youths over the summer. He expressed his
21 appreciation to the City and their neighbors for working with them over the years. He stated that
22 they do not have any major concerns with this proposed project but wanted to state, for the record,
23 that both for the development and the sale of the sites to the developer that they have worked with
24 the neighbors to become a neighborhood organization and have already made some concessions
25 to their operation and ability to fund raise based on the opinions of the former lot owner on this
26 site. He stated that they would like to know that this is not something that the developer or future
27 home owners are looking to change. He stated that they also have 150 watercraft on the day
28 serving the youth on their site that are putting up sails. He explained that if you looked at the
29 orientation of the buildings right now, a lot of those advertised 'lake views' go straight through
30 their sailboats and the future tree plantings. He reiterated that they had no specific concerns or
31 pushback on the proposal but wanted it put on the record that they have worked with everybody
32 as best they can to fit in and to ensure that those expectations were not expected to change as part
33 of this development.

34
35 Jeff Nelson, 1037 Lake Street E, Wayzata stated that he had also submitted a written comment to
36 the City. He stated that in his mind the most important issue has to do with the water drainage and
37 the wetland. He noted that over the last few years there has been much dryer weather than typical,
38 but despite that, when his wife walked around the current home on this parcel, the land was squishy
39 this past fall and not dry. He expressed concern for what could happen in a year where there is
40 higher than usual precipitation with the wetland. He stated that he also wanted to make sure the
41 Planning Commission takes a look at the significant number of trees that will be lost with this
42 proposal. He stated that the City has been looking at protecting the cover of the City and in looking
43 at the number of trees that were already removed on this property over the last few years in addition
44 to what is proposed for removal, it seems to him that there should be a better alternative. He stated
45 that the site, as it exists, is a very good site for a single family home and feels a beautiful home
46 could be built there which would mean no other trees would have to be removed. He noted that

1 he has lived in this neighborhood for the last 7 months, and has realized that there is quite a bit
2 more traffic than what he had initially thought there would be. He stated that he and his wife
3 understood that a home would be built across the street from them, but explained that they have
4 concerns about the wetland and want to make sure that the City is taking that into consideration in
5 addition to the amount of traffic and congestion that already exist without building any homes on
6 the lot. He asked about the replacement trees that have been mentioned and whether there was
7 any obligation for replacement if the tree dies in a certain amount of time.
8

9 Jacy Grais, 1044 Lake Street E, Wayzata stated that she lives directly east of the applicant's
10 property. She stated that prior to purchasing their home in December of 2021, they learned that
11 the 1030 property had recently been sold to a family that was planning to build a single family
12 home on the lot. She stated that now the most recent plans will have some negative effects on their
13 property including loss of natural light. She stated that she also has concerns about the block just
14 east of the roundabout because it is really a thoroughfare and is used by people coming from
15 downtown who want to leave the area and avoid crossing the train tracks. She stated that it is not
16 a street that is primarily used by the residents of the neighborhood. She confirmed that the street
17 is narrow and when it snows, the snow can pile up in the street so there is barely enough room for
18 two cars to pass each other. She stated that adding three more homes and driveways to a short and
19 already congested area that contains speed bumps, will make the street even more congested. She
20 stated that she feels this is inconsistent with the City's goal of preserving and enhancing the City's
21 small town character as set forth in the Comprehensive Plan. She noted that another concern she
22 has is with the size of the proposed homes relative to the lot sizes. She explained that there are
23 other homes that are in the 3,000 to 5,000 square foot range, however they all sit on much larger
24 lots and feels the proposed plans do not respect the existing scale, character, and pattern of the
25 street or the surrounding area. She stated that the Comprehensive Plan designation for this area is
26 1-3 units/acre so placing 3 units on .64 buildable acres does not seem to satisfy that designation.
27 She stated that this proposal will result in the loss of many large and beautiful trees with the
28 majority of them being on the Lake Street side of the lot. She stated that she has no doubt that
29 Black Dog Homes builds beautiful homes, but would still urge the Commission to recommend
30 denial for the request to subdivide this parcel.
31

32 David Gagne, stated that he is the former owner of 1044 Lake Street and now owns 298 Central
33 Avenue, Wayzata which is also in the neighborhood. He stated that he was also here to ask the
34 Commission to not move forward with approval for this subdivision. He stated that he does not
35 believe that this plan meets all of the criteria in the subdivision criteria such as lot size not being
36 dissimilar to the adjacent lots. He noted that 1044 Lake Street and 1050 Lake Street says that they
37 will be low density, but these new proposed lots are 65 feet wide. He noted that the home at 1044
38 Lake Street is 80 feet wide itself, so he feels the proposed lots would be very dissimilar to the
39 adjacent lots. He noted that he agrees with everything shared by Ms. Grais regarding traffic and
40 home values. He stated that he feels that a subdivision with just 2 homes would be fantastic in this
41 location and thinks it would also work from an economic standpoint. He stated that this proposal
42 wedges 3 homes onto .64 acres which is not what is seen elsewhere in that neighborhood. He
43 stated that he also feels if this parcel is subdivided into 2, rather than 3, that they will be able to
44 significantly protect the existing trees and would strike a balance between development and
45 preservation.
46

1 Chet Whitley, 1050 Lake Street E, Wayzata stated that moved to the area because it was absolutely
2 beautiful and his family used to vacation to the Wayzata area. He stated that at least half of the
3 attraction is the view from the lake and as they see the amount of trees that will be taken down,
4 the character of both the street view and the lake view will dramatically change. He stated that
5 there are places where you will see tiny little houses, but some of those are for ice fishing. He
6 expressed concern with plans to further deforest this lot and stated that he felt the wetland would
7 be destroyed that is used for ducks and wild birds. He stated that subdividing this lot will make a
8 radical difference in the area and his partner, who frequently walks her dog there, will be
9 heartbroken to see it changed from something that has beautiful character to something that does
10 not fit the rest of the neighborhood.

11
12 Julie Whittington, stated that she is married to David Gagne and they built 1044 Lake Street that
13 is adjacent to this parcel. She stated that they bought it in 2018 and before they purchased it, they
14 did a lot of visiting in the area. She stated that she wanted to reinforce to the Commission the
15 questions that have been raised surrounding that pond and how large it actually is. She stated that
16 she thinks that what is being presented is something that is in an ideal state and stated that she feels
17 the maximum size of the pond exceeds what has been presented tonight. She stated that she would
18 be very curious to see when this data was gathered because she has witnessed the pond being much
19 larger than it was over the last two summers. She noted that it has been expressed that there is .64
20 acres of buildable land, but she feels it is actually much less than that.

21
22 K.C. Chermak, 330 Wise Avenue S, Wayzata stated that his understanding is that this request does
23 not require a variance because it does meet the zoning requirements.

24
25 Planner Quarles confirmed that there is no lot size variance being asked for.

26
27 Mr. Chermak stated that there was a time in the City when people were trying to avoid the
28 'McMansions' and the oversized homes that can be created in areas like this. He stated that the
29 redevelopment and reclassification of this area has gone on for about 10 years now which he feels
30 has gone very well. He stated that his property is 3 lots away and feels that this proposal fits in
31 with the majority of the new lots in this area. He stated that the creativity will be in the hands of
32 the builder and he believed that Black Dog Homes will create something that is a very high quality,
33 has high end finishes, and adds character to the neighborhood. He stated that the pond item is one
34 of the reasons that he is here before the Commission and noted that he did not think its existing
35 condition was particularly attractive. He stated that this pond is just once piece of water before it
36 gets to Lake Minnetonka and he would encourage the City to investigate this a bit more in order
37 to improve where water goes in and comes out, so the water flow and what is being purified is
38 improved. He stated that he serves on the Energy and Environment Committee in the City and
39 they have walked this area. He stated that this is the only piece of land with water on it that the
40 watershed had no access or ability to improve it or make it better because there were no easements
41 for the City or access points that were officially recorded. He stated that he believes the easement
42 and access points are now available and also believes that this pond deserves a little bit of 'love'
43 and should be improved to make sure that the water that leaves this pond and heads to Lake
44 Minnetonka is purified a bit better and has better water flow. He stated that he would agree that
45 the roads can be difficult to park on both sides, but feels that is the way it is in the City and is
46 something that comes when you live in a cottage style community like Wayzata. He stated that

1 this road is brand new and explained that the City put it in, addressed some of the slight pitches
2 that were present, but ultimately had agreed on its size.
3

4 Mr. Gagne returned to the podium and stated that he would agree that the wetland and the pond
5 need some 'love'. He stated that the subdivision Mr. Chermak did on his property was not for
6 cottage styles with front loading garages for very narrow lots. He stated that the ones that Mr.
7 Chermak created fit the character of the neighborhood, but he feels that what is being proposed by
8 Black Dog Homes does not. He stated that he would not describe this neighborhood as a 'cottage
9 style' neighborhood and reiterated his earlier point that the adjacent lots have significantly more
10 width that the proposed lots will have. He stated that according to the Comprehensive Plan, this
11 portion of the neighborhood is low density and noted that Mr. Chermak's portion of the
12 neighborhood is not designated as low density. He reiterated that the impact this proposal has on
13 the trees, the wetland, the view from the lake and the street, and the area property values is
14 significant. He stated that the road is brand-new, but it is narrow and creating more of a traffic
15 issue is not a good idea. He stated that there are at least 5-10 cars a day that go the wrong way
16 and he feels the amount of traffic that already exists is a huge issue.
17

18 Community Development Director Goellner stated there were no people that called in to the
19 meeting that have asked to speak at the public hearing.
20

21 There being no one wishing to provide additional public comments on the application, Chair
22 Stockton closed the public hearing at 7:40 pm.
23

24 Chair Stockton asked for the Commission to share their questions and feedback on the application.
25

26 Commissioner Merriam referenced page 24 of the packet and asked where the three proposed lots
27 would fit in the picture.
28

29 Planner Quarles stated that she had not overlaid the plan with an aerial photo. She stated that a
30 nice reference is that the existing home matches up with the center lot almost exactly which means
31 that the existing home is about where a home would go on Lot 2 and the other homes would be to
32 the east and the west.
33

34 Chair Stockton stated that there was a question raised about the tree replacement and a requirement
35 to replant if the tree dies.
36

37 Planner Quarles stated that when someone is planting a tree as part of the tree preservation plan,
38 the City collects escrow funds. She explained that the City holds those funds and releases a bit
39 every year over a three year period. She stated that if the tree survives the three years, then those
40 funds are returned to the applicant and if it dies, she believes the City would use those funds to
41 replace the tree.
42

43 Commissioner Schwalbe stated that there was a question regarding density requirements of 1-3
44 homes/acre and asked what the density calculation is without the unbuildable area. She stated that
45 she would also like to know if the pond would be owned by the owner of Lot 1.
46

1 Planner Quarles stated that she can do that calculation for the Commission and explained that Lot
2 1 would own the pond.

3
4 Commissioner Schwalbe asked if the owner of the pond would be responsible for its purification
5 rather than the City.

6
7 Planner Quarles stated that is correct but noted that while she did not know the quality of the job
8 that the pond is doing in terms of filtering water, she can confirm that it would be the responsibility
9 of the homeowner.

10
11 Community Development Director Goellner stated that a development agreement would be
12 required with the owner, so those types of details could be worked out.

13
14 Commissioner Merriam stated that when she first looked at this, on paper, she felt it was something
15 that could really make sense; but when she went in person and took a look at the lot, the trees, and
16 the wetland as well as listening to the comments shared tonight, she feels that because of the loss
17 of significant and heritage trees, she can see it being divided into two lots, but not three. She stated
18 that she does not think she can recommend approval of subdividing it into three lots.

19
20 Commissioner Severson stated that she is also struggling with the subdivision proposal because
21 when you look at it, the wetland areas does not look as big as it actually is, so when you factor that
22 in, putting in three houses seems like a lot. She noted that if she looks at other homes in the
23 neighborhood, they are also taking up quite a bit of their lot space, so she is struggling a bit because
24 maybe it isn't too big. She stated that ultimately, she thinks subdividing this into 3 parcels is just
25 too much.

26
27 Commissioner Elg stated that he has similar feelings to what has already been expressed and noted
28 that it is hard to speculate on what it will look like with 3 homes. He stated that Lots 2 and 3, as
29 proposed, seem like they would be very narrow lots, but agreed with Commissioner Severson that
30 many of the neighboring homes take up a lot of surface, as well, and do not have a lot of greenspace
31 around them. He stated that he is not entirely opposed to the request, but noted that ideally he
32 would love to see just two homes put in, rather than three. He noted that he was not prepared to
33 commit to a stance at this moment because he could actually go either way on recommending
34 approval or denial of the request.

35
36 Commissioner Schwalbe stated that the Commission is all a bit conflicted on what to do. She
37 stated that she thinks it is a perfect area to be developed and if it were just two lots, she thinks the
38 entire Commission would most likely support it but agreed with Commissioner Elg that she would
39 not necessarily dismiss the request out of hand either. She asked if staff has an answer to the
40 question about the density of 1-3 homes/acre that she had asked earlier, and whether or not the
41 pond area is counted. She clarified that she would like to know if the 2040 Comprehensive Plan
42 allows for these three homes to be built there.

43
44 Planner Quarles explained that for the purposes of calculating density for this application, staff
45 included the pond area as part of the lot area. She stated that there was a question asked earlier

1 about what the density would be if the wetland was excluded and after running those calculations,
2 it would be 4.68 homes/acre, but clarified that staff had not used that calculation.

3
4 Commissioner Schwalbe stated that there was been talk about the ‘squishiness’ that may have
5 surrounded the existing home. She stated that now there are plans to put three homes on the
6 property which has hard surface, and asked how that typically effected water absorption and asked
7 if it would increase the amount of water that goes into the holding pond.

8
9 Planner Quarles stated that the math says that when you add impervious surface to a lot it means
10 more of that water is going to make its way to the grass or green space that remains. She stated
11 that the grading for this set of lots says that from there it would make its way into the wetland and
12 the home pads would no longer absorb that water.

13
14 Commissioner Schwalbe asked if the City Engineering Department had looked at this and said that
15 the pond can handle three homes on the site.

16
17 Planner Quarles stated that there were no specific Engineering comments on how the increased
18 impervious surface would effect the wetland. She stated that she understands they were looking
19 at whether these lots, individually, complied with the Shoreland Overlay District. She stated that
20 she had noted in her presentation that it is likely that Lots 2 and 3 will require additional stormwater
21 mitigation and will have to find ways to retain some of their own rainwater because of their
22 increased impervious surface.

23
24 Chair Stockton stated that there are some things that jump out to her after visiting the site in person
25 and in looking at the various subdivision goals that are to be assessed. She referenced Subdivision
26 Ordinance criteria in Sec. 1003.02.E, and the concerns that have been raised by the public and the
27 Commission regarding the wetland size and how it will be impacted, as well as the amount of trees
28 that cannot be replaced due to the amount of wetland that exists in the area. She noted that she
29 believed a rough count would end up with a deficit of about 70% of the trees that were originally
30 there. She stated that particular lot and side of the street is distinct and is a very unique piece of
31 lakefront property. She referenced Subdivision Ordinance criteria in Sec. 1001.02.B, and noted
32 that she questioned whether the proposed plans would respect the existing scale, character and
33 pattern of the City. She stated that she is in favor of subdividing this parcel to a certain extent, and
34 noted that most of the Commission appears to be comfortable with the idea of subdividing it into
35 2 lots rather than 3 lots.

36
37 Commissioner Elg stated that he thinks keeping the homes similar to what is already there makes
38 a lot of sense, and stacking three homes against larger homes seems a bit out of place.

39
40 Commissioner Severson stated that one other thing she has been thinking about is that all three of
41 the proposed lots meet the City’s standards and the applicant was not requesting any variances.
42 She stated that this lot is zoned R-3A, which means it would have the same density as the rest of
43 the neighborhood.

44
45 Planner Quarles stated that it is zoned R-3A, but is guided differently than the rest of the
46 neighborhood as low density residential.

1
2 Commissioner Schwalbe asked for a reminder on what the Commission's boundaries are with
3 regard to a recommendation of approval or denial in this situation.

4
5 Community Development Director Goellner advised that the Commission use the criteria found
6 on page 30 of the packet to make findings supporting a recommendation of approval or denial, and
7 noted the criteria points mentioned by Chair Stockton.

8
9 Commissioner Merriam noted that she had also referenced Sec. 1003.02E (4) and (8) of the
10 Subdivision Ordinance regarding significant trees and architectural appearance, scale and mass.
11 She stated that she agreed with the comment made by Commissioner Severson that the proposal
12 did not need any variances, but explained that the Commission is also tasked with looking at other
13 criteria as well.

14
15 Commissioner Schwalbe stated that it appears as though the Commission has quite a bit of
16 ambivalence about this proposal, and noted that she wonders if the developer could ease that
17 ambivalence if they took a look at a few things such as the size and footprint of the houses. She
18 suggested that perhaps now that they have gotten some feedback, the developer should be allowed
19 to have one more run at their proposal and be able to try to mitigate some of the concerns that have
20 been raised. She stated that it may not need to be a hard no on 3 lots, but perhaps it just needs to
21 be massaged a bit in order to do things like save some trees.

22
23 City Attorney Schelzel stated that part of the challenge for the Commission may be that this is not
24 the application that they all 'wish' they could see, but reminded them that it is the application that
25 is before them right now. He stated that comments that are being made are certainly being heard
26 by the Applicant but explained that the Commission needed to make a recommendation to the City
27 Council on this particular 3 lot subdivision that has been proposed. He stated that all the other
28 thoughts expressed will be included in the meeting minutes, but the report and recommendation
29 for consideration at the next meeting has to be on this particular application. He explained that the
30 Commission is charged with looking at the potential adverse effects of the proposed subdivision
31 including the criteria that has been noted. He stated that the Commission has highlighted several
32 items that could be grounds for recommending a denial.

33
34 Chair Stockton stated that she felt pretty strongly that given the adjacent lots and the lower density
35 lakefront property that she would be inclined to recommend denial of the request.

36
37 There being no further discussion, Chair Stockton asked for a motion on the application.

38
39 Commissioner Merriam made a motion, seconded by Commissioner Severson, to direct staff to
40 prepare a draft Planning Commission Report and Recommendation with appropriate findings
41 reflecting a recommendation of denial of the Application for the subdivision of Black Dog Homes
42 Addition at 1030 Lake Street E for review and adoption at the next Planning Commission meeting.

43
44 Community Development Director Goellner completed a roll call vote. The motion carried
45 unanimously.

46

1 Chair Stockton recessed the meeting at 8:10 pm and reconvened at 8:15 pm.

2
3 **b) Consider Development Application for Cantissimo Senior Living at 15419/15429**
4 **Wayzata Boulevard/1405 Holdridge Terrace**
5

6 Planner Quarles gave an overview of the development application for Cantissimo Senior Living at
7 15419/15429 Wayzata Boulevard and 1405 Holdridge Terrace. She reviewed the zoning and land
8 use for the surrounding neighborhood; existing conditions, and the PUD plan. She explained that
9 this was a proposal for a 40 unit, 'L' shaped memory care facility with two stories and a walk-out
10 level in the rear. She explained that the Comprehensive Plan amendment from Low Density
11 Residential to Institutional has been conditionally approved. She reviewed renderings and
12 explained that the Applicant has described the plans as having a 'Lake Minnetonka-like' feel. She
13 reviewed the Application requests for a PUD General Plan; subdivision (lot combination);
14 variance; rezoning; and design deviations. She reviewed the tree removal, landscape, and tree
15 replacement plans. She gave an overview of the wetlands, buffer requirements, and buffer
16 averaging that could be used in this location, but noted that this project is not proposing any impact
17 to the wetlands. She stated that the units are proposed to be smaller units because they will not
18 have kitchens as there is a commercial kitchen and dining room on the main level. She noted that
19 the building will need to meet MN state standards for memory care facilities. She explained that
20 there are a lot of design deviations that came up with this project and gave a few examples of the
21 requested deviations and the applicant's reasons for their request. She briefly explained the City
22 Engineering comments that were provided on the application. She noted that a neighborhood
23 meeting was held on January 17, 2023 which had 5 community member in attendance.
24

25 At the conclusion of Planner Quarles' presentation, Chair Stockton asked if the Commission had
26 any questions for Staff.
27

28 Commissioner Merriam asked if there was concerns expressed at the neighborhood meeting about
29 the relocation of the lift station on the Property.
30

31 Planner Quarles stated that she cannot recall if it was just a general discussion or if it was concern.
32

33 Commissioner Merriam stated that she thought the Applicant had indicated that they would be
34 willing to put in a few benches, and asked if that was in the park area.
35

36 Planner Quarles stated that she believed the benches would go in the park area.
37

38 Commissioner Merriam asked what changes had been made to the back of the building following
39 the City Council discussion at the PUD Concept Plan stage.
40

41 Planner Quarles stated that as she understands it, it involved incorporating some material changes,
42 but did not think the massing has changed that much. She stated that she believed that there were
43 changes made to try to make it have a bit more visual interest.
44

45 There being no further questions for Staff, Chair Stockton invited the applicant to address the
46 Commission.

1
2 Applicant's representative K.C. Chermak, Pillar Homes, explained that he refers to this piece of
3 land as one that time forgot, and believes that this project will have a positive effect on the City
4 and address a need for multi-generational living. He stated that he feels that their plans keep it
5 residential, but also provide a buffer to a residential neighborhood. He stated that he did not
6 believe that the frontage road or the highway is someplace where it made sense to have a single
7 family neighborhood which would have kids playing there. He stated that their PUD plans have
8 been very thoroughly reviewed by Staff, and noted that they have also held two neighborhood
9 meetings. He stated that he believes that the Commission will hear mostly positive comments
10 from people in the surrounding neighborhood related to their plans. He stated that there have been
11 some architectural changes since the PUD Concept Plan was approved, but they are subtle and
12 gave a brief overview of the proposed changes. He stated that the lift station relocation did come
13 up during their neighborhood meeting and stated that they paid for a study to ensure that the lift
14 station could handle their proposed structure. He stated that during that process Staff came to the
15 conclusion that the lift station should be moved to the west, and put on the lot line of the park and
16 this building. He stated that at the neighborhood meeting, they also discussed landscaping. He
17 stated that their proposal is to keep a nature park land area which will also provide a buffer. He
18 stated that with regard to the wetlands, they have had meetings with their civil engineer,
19 Minnehaha Watershed District, and also City Engineer Mike Kelly. He stated that the wetland has
20 been extensively reviewed and confirmed that they are planning to use the 'average buffering' as
21 described by Planner Quarles. He stated that their request for variance for room size is important
22 and noted that it had come up during the first presentation to the Commission. He stated that the
23 rooms are purposely smaller because they are safer for the tenants, and is consistent with memory
24 care facilities. He noted that the interior of the building will be subject to the Minnesota
25 Department of Health. He stated that a PUD is supposed to have some sort of public benefit, and
26 he believes the park land area will be very beneficial to the neighborhood and will provide a
27 beautiful transition between the two areas.

28
29 At the conclusion of Applicant's remarks, Chair Stockton asked if the Commission had any
30 questions for the Applicant.

31
32 Commissioner Severson stated that Mr. Chermak had stated that the interior of the building had
33 been under the jurisdiction of the State Health Department, and asked if the size of the units would
34 still meet State standards.

35
36 Mr. Chermak stated that their proposed room size would meet State Codes.

37
38 Commissioner Merriam asked about the gathering spaces and common areas and where people
39 would go if they were visiting somebody.

40
41 Mr. Chermak stated that the main floor and the upstairs gathering areas are a bit more like a hearth
42 room or sitting room. He stated that he believes that the dining area could also be used as a
43 gathering space between meal times.

44
45 Commissioner Merriam asked if the units would have seating areas and televisions.

46

1 Mr. Chermak stated that there will be televisions and believes that there will also be seating, but
2 cannot specifically say what will go in each room. He noted that there are reasons for all the plans
3 and knows that they do not want to have too many things inside the rooms.

4
5 Commissioner Merriam noted that unit 108 does not appear to have a door.

6
7 Mr. Chermak stated that the door for that unit would be to the north.

8
9 There being no additional questions from the Commission for the Applicant, Chair Stockton
10 opened the public hearing on the application at 8:55 pm.

11
12 Terry Ray, 1409 Holdridge Terrace, stated that they have been flattered as residents of the adjacent
13 property during this entire process, and that the City and the Applicant have attempted to take such
14 good care of them. He expressed his appreciation to everyone for taking them into consideration
15 as they make their decisions. He stated that their initial concern was the impact that this proposal
16 would have from their rear window, and noted that he would rather have the backside of the
17 building be unremarkable because he would rather see the trees and foliage than the building
18 façade. He stated that he thinks the Applicants have done a great job of addressing those concerns.
19 He stated that when they first moved into that house 8 years ago, it was in disrepair. He explained
20 that as they worked to improve and repair their property, they took it upon themselves to sort of
21 be stewards of the corner lot area and get it cleaned up as well, because it had essentially become
22 a dumping ground while no one was watching. He stated that he feels the Applicant is going to be
23 able to do things that he cannot, like remove diseased trees. He explained that they have come
24 away from this discussion feeling very positive about the proposal.

25
26 Community Development Director Goellner stated there were no people that called in to the
27 meeting that have asked to speak at the public hearing.

28
29 There being no one wishing to provide additional public comments on the application, Chair
30 Stockton closed the public hearing at 8:59 pm.

31
32 Chair Stockton asked for the Commission to share their questions and feedback on the application.

33
34 Commissioner Elg stated that he lives on Crosby and Wayzata Boulevard which is near this
35 location. He stated that he drives by this parcel several times a day and believes this is a very
36 attractive development, and felt the applicant had gone to great lengths to accommodate the
37 neighbors and ensure that they are creating a facility that is appropriate and pleasant for the
38 residents. He stated that he believes what they are proposing will be a great addition to the
39 neighborhood.

40
41 Commissioner Severson asked about the requested design deviations for the project, specifically
42 the sidewalks and benches. She asked how many people besides the residents, visitors, and
43 employees would actually use them, and asked if this would actually be used by the public.

44
45 Planner Quarles stated that was the argument used by the Applicant that these standards were built
46 for the Bluff District in the core of town where there is a lot of foot traffic and this area of town is

1 not like that. She stated that she does not have numbers to back up what the actual foot traffic
2 levels would be, but believes that they will be a lot lower than others. She stated that with relation
3 to the benches, she thinks the question would be whether it would be much of a hardship to require
4 or if it was something that the City could let go of as a deviation.
5

6 Commissioner Severson stated that she did not think it was that big of a deal and given where this
7 property sits and its use, she thinks it makes more sense to design it in the way the property needs
8 to be used, and not necessary to ensure that it does not have deviations. She stated that if that
9 means it doesn't need sidewalks or benches, she would support that.
10

11 Planner Quarles noted that she believed the Applicant was proposing 2 benches in the
12 walking/nature area, but to deviate from the other 5 bench requirement along Wayzata Boulevard.
13

14 Commissioner Merriam stated that she likes the idea of having a few benches in the nature area
15 for the Holdridge neighbors and does not think people are really going to want to sit along Wayzata
16 Boulevard and watch traffic go by.
17

18 Commissioner Elg stated that he thinks benches in the nature area seem appropriate to him so the
19 residents and their visitors can get outside and get some fresh air.
20

21 Commissioner Schwalbe stated that for quite a while this has been an unattractive spot along
22 Wayzata Boulevard and explained that she had liked this project since the beginning and continued
23 to have no concerns or objections.
24

25 Chair Stockton stated that she was a member of the Design Standards Task Force, and noted that
26 she did not see any deviations that do not have logical rationale behind them.
27

28 Commissioner Merriam referenced a rendering on page 101 of the packet that did not have any
29 landscaping included. She stated that she thinks adding trees to the blank wall areas of the building
30 will really add a lot to the aesthetic, and asked if her understanding of the landscaping plans were
31 correct and that there would be some pretty good sized trees in those areas.
32

33 Mr. Chermak confirmed from the audience that this was correct.
34

35 Chair Stockton stated that she believes that this plan is an improvement to the area.
36

37 There being no further discussion, Chair Stockton asked for a motion on the application.
38

39 Commissioner Elg made a motion, seconded by Commissioner Schwalbe, to direct staff to prepare
40 a draft Planning Commission Report and Recommendation with appropriate findings reflecting a
41 recommendation of approval of the Application for Cantissimo Senior Living at 15419/15429
42 Wayzata Boulevard/1405 Holdridge Terrace for review and adoption at the next Planning
43 Commission meeting. The motion carried unanimously.
44

45 **AGENDA ITEM 6. Other Items:**
46

1 **a) Review of Development Activities**

2
3 Community Development Director Goellner stated that there will be one public hearing scheduled
4 for February 6, 2023 regarding the Wayzata Country Club.

5
6 **b) Planning Commission Meeting Schedule**

7
8 Community Development Director Goellner stated that the second meeting in February will be
9 February 27, 2023, rather than February 20, 2023, due to President's Day.

10
11 Commissioner Schwalbe noted that she will not be able to attend the February 6, 2023 meeting.

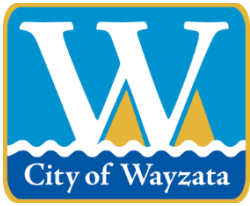
12
13 **AGENDA ITEM 7. Adjournment.**

14
15 There being no further business on the agenda, Chair Stockton asked for a motion to adjourn.

16
17 Commissioner Severson made a motion, seconded by Commissioner Schwalbe, to adjourn the
18 Planning Commission meeting. The motion carried unanimously.

19
20 The Planning Commission meeting was adjourned at 9:13 p.m.

21
22 Respectfully submitted,
23 Kayla Atkins Rokosz
24 *TimeSaver Off Site Secretarial, Inc.*
25



City of Wayzata Planning Commission Agenda Report

MEETING DATE: February 6, 2023	AGENDA ITEM: 4.b
TITLE: Approval of Planning Commission Report and Recommendation of Approval for Development Application for Cantissimo Senior Living at 15419/15429 Wayzata Blvd and 1405 Holdridge Terrace	
PREPARED BY: Valerie Quarles, Assistant Planner	
REVIEWED BY: Emily Goellner, Community Development Director	
60 DAY DEADLINE: May 4, 2023 (extended to 120 days)	

BACKGROUND:

A development application has been submitted by applicant Pillar/Senior Lifestyle Living LLC with owner Care Cliff, LLC to construct a 40-unit memory care facility at 15419/15429 Wayzata Blvd and 1405 Holdridge Terrace. The development would be a “boutique” style senior care facility that will cater to residents needing higher levels of care. The facility is proposed to house 40 residents in individual rooms or suites. The project also proposes a nature area to the west of the proposed building.

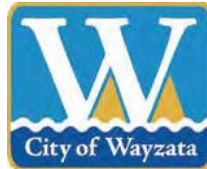
The Planning Commission discussed the PUD General Plan, along with other requests, at their January 23 meeting. The Commission voted 5-0 to recommend approval of the development application requests.

ACTION REQUESTED:

Staff recommends approval of the Planning Commission Report and Recommendation.

ATTACHMENTS:

1. Planning Commission Report and Recommendation



WAYZATA PLANNING COMMISSION

February 6, 2023

**REPORT AND RECOMMENDATION OF APPROVAL
OF PUD GENERAL PLAN, LOT COMBINATION, UNIT SIZE VARIANCE,
ZONING MAP AMENDMENT, AND DESIGN DEVIATIONS
AT 1405 HOLDRIDGE TERRACE AND 15419 AND 15429 WAYZATA BOULEVARD**

DRAFT

SUMMARY OF RECOMMENDATION

1. **Approval*** of Planned Unit Development (PUD) General Plan
2. **Approval*** of Preliminary Plat (Lot Combination)
3. **Approval*** of Variance for Unit Size
4. **Approval*** of Zoning Map Amendment (Rezoning)
5. **Approval*** of Design Deviations

** with certain conditions listed at the end of this Report*

REPORT AND RECOMMENDATION

Section 1. BACKGROUND

- 1.1 **Project.** Pillar/Senior Lifestyle Living LLC and property owner Care Cliff LLC (collectively, the “Applicant”) have submitted a development application (the “Application”) for the property at 1405 Holdridge Terrace and 15419 and 15429 Wayzata Boulevard (the “Property”) requesting approval of a (i) PUD General Plan; (ii) Subdivision/Lot Combination; (iii) Variance for Unit Size; (iv) Zoning Map Amendment (Rezoning) and (v) Design Deviations to allow for the construction of an assisted living facility (the “Project” or the “Proposed PUD”). The City Council previously approved a PUD Concept Plan and a Comprehensive Plan Amendment for the Project on February 22, 2022, and the Application represents the next stage of required approvals for the Project.

- 1.2 Application Requests. The Application includes requests for approval of the following:
- A. PUD General Plan: A PUD general plan for a forty (40) unit “L” shaped assisted living and dementia care (i.e., memory care) facility in the north center of the Property, as further detailed in the Application (the “PUD General Plan”).
 - B. Preliminary and Final Plats (the “Lot Combination”): Subdivision and preliminary and final plat approval under Ch. 1003 to create a single lot from the existing three lots that comprise the Property. The lot is shown in the Preliminary Plat attached to this Report as Attachment B.
 - C. Unit Size Variance (the “Unit Size Variance”): A variance under Section 905.01 (§919.06.B) for a reduction in the minimum unit size (440 square feet) for 31 of 40 units in the Project that are undersized as shown in the PUD General Plan.
 - D. Zoning Map Amendment (the “Rezoning” or “Zoning Ordinance Amendment”): An amendment to the official Zoning Map of the City under Sec. 903.02 to rezone the Property from R-2 Medium Density Single Family Residential District to Planned Unit Development (PUD) District.
 - E. Design Standards Deviations (the “Deviations”): Deviations from the Design Standards under Section 909.29 for ten deviations associated with the Project as specified in the PUD General Plan and the Staff Report.
- 1.3 Property. The three (3) parcels that comprise the Property are located at the east end of the City along Wayzata Boulevard which acts as a frontage road for US Highway 12. The east property line of the Property abuts the City of Minnetonka. The street address, property identification numbers and owner of the parcels that comprise the Property are:

Address	PID	Owner
15419 Wayzata Boulevard	04-117-22-32-0036	Care Cliff LLC
15429 Wayzata Boulevard	04-117-22-32-0035	Care Cliff LLC
1405 Holdridge Terrace	04-117-22-32-0034	Care Cliff LLC

- 1.4 Land Use. The Property is zoned R-2 Medium Density Single Family Residential and guided Institutional/Public (pending approved but contingent Comprehensive Plan Amendment) under the 2040 Wayzata Comprehensive Plan.
- 1.5 Neighborhood Meeting; Notice and Public Hearing. A neighborhood meeting on the Application was held on January 17, 2023 in accordance with City policy. Notice of a public hearing on the Application was published in the *Sun Sailor* on January 12, 2023. A copy of the notice was mailed to all property owners located with 500 feet of the Property on January 12, 2023. The public hearing on the Application was held at the January 23, 2023 Planning Commission meeting.

Section 2. STANDARDS

- 2.1 PUD General Plan. The same review procedure by the Planning Commission is to be followed for a PUD General Plan of Development as was followed with respect to an applicant's Concept Plan. That procedure and applicable standards are as follows:
- A. Intent and Purpose of PUDs. Chapter 933 of the Zoning Ordinance provides for the establishment of Planned Unit Developments to allow greater flexibility in the development of neighborhoods and/or non-residential areas by incorporating design modifications as part of a PUD conditional use permit or a mixture of uses when applied to a PUD District. The PUD process, by allowing deviation from the strict provisions of the Zoning Ordinance related to setbacks, lot area, width and depth, yards, etc., is intended to encourage:
1. Innovations in development to the end that the growing demands for all styles of economic expansion may be met by greater variety in type, design, and placement of structures and by the conservation and more efficient use of land in such developments.
 2. Higher standards of site and building design through the use of trained and experienced land planners, architects, landscape architects, and engineers.
 3. More convenience in location and design of development and service facilities.
 4. The preservation and enhancement of desirable site characteristics such as natural topography and geologic features and the prevention of soil erosion.
 5. A creative use of land and related physical development which allows a phased and orderly development and use pattern.

6. An efficient use of land resulting in smaller networks of utilities and streets thereby lower development costs and public investments.
 7. A development pattern in harmony with the objectives of the Wayzata Comprehensive Plan. (PUD is not intended as a means to vary applicable planning and zoning principles.)
 8. A more desirable and creative environment than might be possible through the strict application on zoning and subdivision regulations of the City.
- B. General Standards. Section 933.02.A of the Zoning Ordinance sets forth the general standards for a PUD and review of a PUD application. These include:
1. Health Safety and Welfare; Council Discretion. In reviewing the PUD application, the Council shall consider comments on the application of those persons appearing before the Council, the report and recommendations of the Planning Commission, the recommendations on design and any staff report on the application. The Council also shall evaluate the effects of the proposed project upon the health, safety and welfare of residents of the community and the surrounding area and shall evaluate the project's conformance with the overall intent and purpose of Section 33 of the PUD Ordinance. If the Council determines that the proposed project will not be detrimental to the health, safety and welfare of residents of the community and the surrounding area and that the project does conform with the overall intent and purpose of Section 33 of the PUD Ordinance, it may approve the PUD, although it shall not be required to do so.
 2. Ownership. Applicant/s must own all of the property to be included in the PUD.
 3. Comprehensive Plan Consistency. The PUD project must be consistent with the City's Comprehensive Plan.
 4. Sanitary Sewer Plan Consistency. The PUD project must be consistent with the City's Sanitary Sewer Plan.
 5. Common Open Space. The PUD project must provide common private or public open space and facilities at least sufficient enough to meet the minimum requirements established in the Comprehensive Plan, and contain provisions to assure the continued operation and maintenance of such.
 6. Operating and Maintenance Requirements. Whenever common private or public open space or service facilities are provided within a PUD, the PUD plan must contain provisions to assure the continued

operation and maintenance of such open space and service facilities to a predetermined reasonable standard. Common private or public open space and service facilities within a PUD must be placed under the ownership of one of the following, as approved by the City Council: (i) dedicated to the public, where a community-wide use is anticipated, (ii) Landlord control, where only tenant use is anticipated, or (iii) Property Owners Association, provided the conditions of 933.2.A.6.c are met.

7. Staging of Public and Common Open Space. When a PUD provides for common private or public open space, and is planned as a staged development over a period of time, the total area of common or public open space or land escrow security in any stage of development shall, at a minimum, bear the same relationship to the total open space to be provided in the entire PUD as the stages or units completed or under development bear to the entire PUD.
8. Density. The PUD project must meet the density standards agreed upon by the applicant and City, which must be consistent with the Comprehensive Plan.
9. Utilities. All utilities associated with the PUD must be installed underground and meet the utility connection requirements of Section 933.02.A.10.
10. Utility Connections. All utilities associated with proposed PUD must meet the utility connection requirements of Section 933.02.A.10.
11. Roadways. All roadways associated with the PUD must conform to the Design Standards and Wayzata Subdivision Regulations, unless otherwise approved by City Council.
12. Landscaping. All landscaping associated with the PUD must be according to a detailed plan approved by the City Council. In assessing the plan, the City Council shall consider the natural features of the particular site, the architectural characteristics of the proposed structure and the overall scheme of the PUD plan.
13. Setbacks. The front, rear and side yard restrictions on the periphery of the Planned Unit Development site at a minimum shall be the same as imposed in the underlying districts, if a PUD conditional use permit, or the previous zoning district, if a PUD District. No building shall be located less than fifteen (15) feet from the back of the curb line along those roadways which are part of the internal street pattern.
14. Height. The maximum building height to be considered within a PUD District shall be thirty five (35) feet and three (3) stories, whichever is lesser. There shall be no deviation from the height standards applied

within the applicable zoning districts for PUD conditional use permits. In PUD Districts for parcels that were zoned commercial prior to PUD and which exceed 13 acres, the maximum allowable height and number of floors shall be as negotiated and agreed upon between the applicant and the City.

- C. Residential PUD Standards. Section 933.03 sets forth lot area, minimum frontage, municipal water and sewer availability, roadway and parking standards for PUDs which have a residential component. In addition to the standards set forth in these sections, City Council may impose such other standards for a PUD project as are reasonable and as the Council deems are necessary to protect and promote the general health, safety and welfare of the community and the surrounding area.
- D. PUD Procedure.
 - 1. Concept Plan Approval Non-Binding. Concept Plan approval is the first step in a multi-stage process of City review and approval of a PUD. Concept Plan approval in no way binds the City to subsequent approval of a General Plan of Development or other approvals that may be required. Section 933.05.B.
 - 2. Application Contents. An application for approval of a Concept Plan of development for a PUD project must contain the information and materials listed in Section 933.05.C.

2.2 Lot Combination / Preliminary Plat.

- A. Review and approval of lot combinations and subdivisions of property are governed by the City's Subdivision Ordinance, Part X, Chapters 1001 through 1009 of the City Code. The City may agree to review the preliminary and final plats simultaneously. Sec. 1003.03.A.
- B. In reviewing requests for approval under the Subdivision Ordinance, the Planning Commission shall consider possible adverse effects of the proposed subdivision or lot combination reflected in the preliminary plat. Its judgment shall be based upon, but not limited to, the following factors found in Section 1003.02.E:
 - 1. The proposed subdivision or lot combination shall be consistent with the Wayzata Comprehensive Plan.
 - 2. Building pads that result from a subdivision or lot combination shall preserve sensitive areas such as lakes, streams, wetlands, wildlife habitat, trees and vegetation, scenic points, historical locations, or similar community assets.

3. Building pads that result from subdivision or lot combination shall be selected and located with respect to natural topography to minimize filing or grading.
4. Existing stands of significant trees shall be retained where possible. Building pads that result from a subdivision or lot combination shall be sensitively integrated into existing trees.
5. The creation of a lot or lots shall not adversely impact the scale, pattern or character of the City, its neighborhoods, or its commercial areas.
6. The design of a lot, the building pad, and the site layout shall respond to and be reflective of the surrounding lots and neighborhood character.
7. The lot size that results from a subdivision or lot combination shall not be dissimilar from adjacent lots or lots found in the surrounding neighborhood or commercial area.
8. The architectural appearance, scale, mass, construction materials, proportion and scale of roof line and functional plan of a building proposed on a lot to be divided or combined shall be similar to the characteristics and quality of existing development in the City, a neighborhood or commercial area.
9. The design, scale and massing of buildings proposed on a subdivided or combined lot shall be subject to the architectural guidelines and criteria for the Downtown Architectural District, Commercial and Institutional Architectural Districts, and Residential Architectural Districts and the Design Review Board/City Council review process outline in Section 9 of the Wayzata Zoning Ordinance.
10. The proposed lot layout and building pads shall conform with all performance standards contained herein.
11. The proposed subdivision or lot combination shall not tend to or actually depreciate the values of neighboring properties in the area in which the subdivision or lot combination is proposed.
12. The proposed subdivision or lot combination shall be accommodated with existing public services, primarily related to transportation and utility systems, and will not overburden the City's service capacity.

2.3 Unit Size Variance. City Code Section 919.06.C requires a minimum unit size of 440 square feet for each residential elderly efficiency unit in the Project. The applicable criteria for granting a variance from such standard of the Zoning Ordinance under Sec. 905.1.C are:

- A. Variances shall only be permitted when they are:
 - (i) in harmony with the general purposes and intent of the Zoning Ordinance; and
 - (ii) consistent with the Comprehensive Plan.
- B. Variances may be granted when the Applicant establishes that there are practical difficulties in complying with the Zoning Ordinance.
- C. "Practical difficulties," as used in connection with the granting of a variance, means that:
 - (i) the property owner's proposal for the property is reasonable but not permitted by the Zoning Ordinance;
 - (ii) the plight of the landowner is due to circumstances unique to the property, and not created by the landowner; and
 - (iii) the variance, if granted, will not alter the essential character of the locality.
- D. Economic considerations alone do not constitute practical difficulties. Practical difficulties include, but are not limited to, inadequate access to direct sunlight for solar energy systems.
- E. The City Council shall not permit as a variance any use that is not allowed under the Zoning Ordinance for property in the zoning district where the affected person's land is located, except the City Council may permit as a variance the temporary use of a one family dwelling as a two family dwelling.
- F. An application for a variance shall set forth reasons that the variance is justified under the criteria of this section in order to make reasonable use of the land, structure or building.

2.4 Zoning Map Amendment. City Council has the discretion and authority under state law and City Code to amend the City's Zoning Ordinance (Text or Zoning Map). In considering a proposed amendment to the Zoning Ordinance under Sec. 903.02.F of the Zoning Ordinance, the Planning Commission and City Council must consider the possible adverse effects of the proposed amendment. Their judgment shall be based upon (but not limited to) the following factors:

- A. The proposed action in relation to the specific policies and provisions of the official City Comprehensive Plan.
- B. The proposed use's conformity with present and future land uses of the area.

- C. The proposed use's conformity with all performance standards contained in the Zoning Ordinance (i.e., parking, loading, noise, etc.).
- D. The proposed use's effect on the area in which it is proposed.
- E. The proposed use's impact upon property value in the area in which it is proposed.
- F. Traffic generation by the proposed use in relation to capabilities of streets serving the property.
- G. The proposed use's impact upon existing public services and facilities including parks, schools, streets, and utilities, and the City's service capacity.

2.5 Design Standards Deviations. Properties outside of the Design Districts of the Zoning Ordinance are subject to the Bluff District standards. Staff has identified 10 significant deviations from such standards that would be required for the Project, which are detailed in the Staff Report. Significant deviations from the Design Standards may be permitted under Section 909.29 (with the exception of Sec. 909.10 of the Design Standards) if City Council (after considering the Planning Commission's recommendation) makes a finding that the negative impact of such deviation is outweighed by one or more of the following factors:

- A. The extent to which the project advances specific policies and provisions of the City's Comprehensive Plan.
- B. The extent to which the deviation permits greater conformity with other Standards, policies behind the Standards, or with other Zoning Ordinance standards.
- C. The positive effect of the project on the area in which the project is proposed.
- D. The alleviation of an undue burden, taking into account current leasing, housing and commercial conditions.
- E. The accommodation of future possible uses contemplated by the Design Standards, the Zoning Ordinance or the Comprehensive Plan.
- F. A national, state or local historic designation.
- G. The project is the remodeling of an existing building which largely otherwise conforms to the Design Standards.

Section 3. FINDINGS

Based on the Application materials, additional materials submitted by the Applicant, staff reports, public comment and information presented at the public hearing, and the

standards of the Wayzata Zoning and Subdivision Ordinances and Comprehensive Plan, the Planning Commission of the City of Wayzata makes the following findings of fact:

3.1 PUD General Plan. The PUD proposed under the PUD General Plan (“Proposed PUD”) would meet the standards of the PUD Ordinance.

A. Intent and Purpose of PUDs. The Proposed PUD would represent:

1. Innovations in development to help meet the growing demands for senior and memory care facilities, through a development that would (i) provide a greater variety in type, design, and placement of structures; and (ii) conserve and make more efficient use of land.
2. Higher standards of site and building design through the use of trained and experienced land planners, architects, landscape architects, and engineers. The design, style and massing of the proposed building successfully integrates into the location and the challenges of the Property that borders major roadways, wetlands, and a residential neighborhood; and (ii) the design, style and massing of the proposed building would successfully reflect a high-quality, larger and older residence, typical of the area.
3. More convenience in location and design of development, given its proximity to Wayzata Boulevard and Highway 12.
4. The preservation and enhancement of desirable site characteristics, including the natural topography of wetlands and wooded areas, that will help in the prevention of soil erosion.
5. A creative use of land and related physical development which will provide a phased and orderly development and use pattern from the active areas of Wayzata Boulevard and Highway 12, to the natural areas of the wetlands and wooded areas, to the adjacent residential neighborhood.
6. An efficient use of land resulting in smaller networks of utilities and streets thereby lower development costs and public investments.
7. A development pattern in harmony with the objectives of the Wayzata Comprehensive Plan, which (i) include multi-generational development, life cycle housing options, and City nodes with greater housing diversity, and (ii) support development that recognizes the diverse housing needs of the community, including all affordability levels, young families and the elderly.

8. A more desirable and creative environment than might be possible through the strict application on zoning and subdivision regulations of the City.

B. General Standards.

1. Health Safety and Welfare; Council Discretion. The effects of the Proposed PUD upon the health, safety and welfare of residents of the community and the surrounding area will be positive and not detrimental.
2. Ownership. The Applicant owns all of the property to be included in the Proposed PUD.
3. Comprehensive Plan Consistency. The Proposed PUD would be consistent with the City's Comprehensive Plan and PUD Amendment as noted elsewhere in this Report.
4. Sanitary Sewer Plan Consistency. The Proposed PUD would be consistent with the City's Sanitary Sewer Plan.
5. Common Open Space. The Proposed PUD would provide common open space sufficient enough to meet the minimum requirements established in the Comprehensive Plan, and contain provisions to assure the continued operation and maintenance of such.
6. Operating and Maintenance Requirements. The General Plan for the Proposed PUD contains provisions to assure the continued operation and maintenance of such open space to a predetermined reasonable standard.
7. Staging of Public and Common Open Space. The open space of the Proposed PUD is not planned as a staged development over a period of time.
8. Density. The Proposed PUD would not be inconsistent with any density standards of the Comprehensive Plan.
9. Utilities. All utilities associated with the Proposed PUD would be installed underground and meet the utility connection requirements of Section 933.02.A.10.
10. Utility Connections. All utilities associated with Proposed PUD would meet the utility connection requirements of Section 933.02.A.10.
11. Roadways. All roadways associated with the Proposed PUD will be evaluated to ensure conformance to the Design Standards and

Wayzata Subdivision Regulations, unless otherwise approved by City Council.

12. Landscaping. All landscaping associated with the Proposed PUD will be according to a detailed plan that must be approved by the City Council.
 13. Setbacks. The front, rear and side yard restrictions on the periphery of the Proposed PUD site would comply with the R-2 Medium Density Single Family Residential (the previous zoning district if the Property is rezoned to PUD District).
 14. Height. The maximum building height of the building within the Proposed PUD would not exceed thirty five (35) feet or three (3) stories.
- C. Residential PUD Standards. The Proposed PUD would meet the minimum frontage, municipal water and sewer availability, roadway and parking standards for PUDs which have a residential component.

3.2 Lot Combination.

- A. The Planning Commission finds that there would be no significant adverse effects of the Lot Combination based upon the following factors found in Section 1003.02.E:
1. The Lot Combination is consistent with the Wayzata Comprehensive Plan, as noted in Section 1 of this Report.
 2. The building pad that results from the Lot Combination will not have a significant negatively impact sensitive natural, scenic, historic or community assets, and the Project overall will help preserve and enhance natural and scenic areas of the Property.
 3. The building pads that result from the Lot Combination will respect natural topography and incorporate filing or grading only as permitted under the Zoning Ordinance.
 4. Impacts to existing trees as a result of the Lot Combination will be mitigated by the standards and requirements of the City's Tree Preservation Ordinance, Ch. 936 and the plans to preserve and enhance significant areas of the Property as part of the PUD General Plan.
 5. The Lot Combination will not adversely impact the scale, pattern or character of the City, its neighborhoods, or its commercial areas, and will fit into the scale, pattern and character of the surrounding

residential neighborhood, wetlands, wooded areas, and the frontage road area along Highway 12.

6. The design of the lot, the building pad, and the site layout responds to and is reflective of the surrounding lots and neighborhood character as noted elsewhere in this Report.
7. The lot size resulting from the Lot Combination is not dissimilar in a negative way to other lots in the area.
8. The architectural appearance, scale, mass, construction materials, proportion and scale of roof line and functional plan of the proposed building on the Property will have a positive effect on the area as noted elsewhere in this Report.
9. The design, scale and massing of the building proposed will have a positive effect on the area as noted elsewhere in this Report.
10. The Lot Combination would conform with all performance standards of the Subdivision Ordinance.
11. The Lot Combination is not likely to depreciate the values of neighboring properties in the area in which it is proposed.
12. The Lot Combination will be accommodated with existing public services, including those related to transportation and utility systems, and will not overburden the City's service capacity.

3.3 Unit Size Variance. The Unit Size Variance requested is in harmony with the general purposes and intent of the Zoning Ordinance and is consistent with the Comprehensive Plan. The following conditions are met for Unit Size Variance:

- A. The Unit Size Variance requested is reasonable, due to circumstances related to the unique conditions of the Property and Project noted below, and the unique needs and requirements of a memory care facility.
- B. If granted Unit Size Variance would not alter the essential character of the locality that is in a unique location, acting as a buffer between the highway and frontage road, wetlands and a residential neighborhood.
- C. The practical difficulties necessitating the Unit Size Variance are not solely economic in nature. The unique conditions of the Property and Project noted above are all significant factors in the practical difficulty of meeting the ordinance requirements.
- D. The proposed uses of the Property are permitted within the proposed PUD District.

- E. The Applicant has provided the reasons that the Unit Size Variance is justified under applicable criteria in order to make reasonable use of the land, structures and building on the Property for the proposed PUD.

3.4 Zoning Map Amendment. The Planning Commission has considered all of the factors of Sec. 903.02.F of the Zoning Ordinance and finds that the Zoning Ordinance Amendment would not have any adverse effects that would not be appropriately managed or outweighed by the overall positive effects of the Project. The Zoning Ordinance Amendment meet the applicable standards in that:

- A. The Zoning Ordinance Amendment does not contravene any policies and provisions of the official City Comprehensive Plan, and would instead better implement them as noted elsewhere in this Report.
- B. The Zoning Ordinance Amendment would conform with the present and future land uses within the City.
- C. The Zoning Ordinance Amendment would conform with all performance standards contained in the Zoning Ordinance, and improve the conditions of the Property.
- D. The Zoning Ordinance Amendment would not have a negative effect on any areas of the City, and instead improve the conditions of the Property.
- E. The Zoning Ordinance Amendment would not have any known negative effect on property values in the City.
- F. Traffic generation by the use associated with the Project in relation to capabilities of streets serving the Property would be well-managed and aspects would improve under the Project.
- G. The Zoning Ordinance Amendment would not negatively impact existing public services and facilities including parks, schools, streets, and utilities, and the City's service capacity.

3.5 Design Deviations. The Commission finds that there would be little, if any, negative impacts of the Deviations, in that the proposed overall design of the Project is well-considered and high quality, and the requested Deviations are reasonable in light of the overall design and proposed uses of a memory care facility in this particular location, which is adjacent to a busy highway corridor and residential neighborhood, and preserves and enhances a desirable wooded park-like area. To the extent there are any negative impacts of the Deviations, those impacts are outweighed by one or more of the following factors:

- A. The extent to which the Project advances specific policies and provisions of the City's Comprehensive Plan, as noted in the record and elsewhere in this Report.
- B. The extent to which the Deviations would alleviate an undue burden, taking into account the necessary design and safety considerations for a residential memory care facility.
- C. The positive effect of the Project on the area in which the Project is proposed, as noted in the record and elsewhere in this Report.

Section 4. RECOMMENDATION

- 4.1 Planning Commission Recommendation. Based on the findings in section 3 of this Report, the Planning Commission recommends **APPROVAL** of the (i) PUD General Plan; (ii) Lot Combination; (iii) Unit Size Variance; (vi) Rezoning; and (v) Design Deviations, subject to the following conditions:
- A. The Applicant must secure all necessary building permits for construction, and follow all laws and regulations applicable to the Project, including: (i) building codes and land use regulations; (ii) City Code and policies applicable to days and times of work, and construction management; and (iii) federal and state laws, regulations, and licensing requirements.
 - B. Stormwater Facilities, Grading, Drainage, and Erosion Plans for the Project the must be approved by the City Engineer prior to the submission of building permits and submitted to the City for review.
 - C. The Applicant must enter into a Development Agreement with the City, with terms and in a form acceptable to the City Attorney, that incorporates the approvals and conditions of this Resolution, and the requirements of the Zoning and Subdivision Ordinances, including parkland dedication or fee-in-lieu.
 - D. A final plat of the Lot Combination must be approved and recorded in accordance with the Subdivision Ordinance and the approved preliminary plat for the Property.
 - E. All expenses of the City of Wayzata, including consultant, expert, legal, and planning fees incurred must be fully reimbursed by the Applicant.

Adopted by the Wayzata Planning Commission this 6th day of February 2023.

Attachments:

Attachment A: Legal Description

Attachment B: Preliminary Plat

DRAFT

Attachment A
Information and Legal Description of Property

Address	PID	Legal Description	Abstract/Torrens
1405 Holdridge Terrace Wayzata, MN 55391	04117223200 34	Lot 2, Block 1, Fretham 17th Addition	Torrens Certificate No. 1508834
15419 Wayzata Blvd E Wayzata, MN 55391	04117223200 36	Outlot A, Fretham 17th Addition	Torrens Certificate No. 1508826
15429 Wayzata Blvd E Wayzata, MN 55391	04117223200 35	Lot 3, Block 1, Fretham 17th Addition	Torrens Certificate No. 1508827

DRAFT

Attachment B
Preliminary Plat

DRAFT

DESCRIPTION OF PROPERTY SURVEYED

Lot 2 and 3, Block 1 & Outlot A, FRETAM 17TH ADDITION, according to the recorded plat thereof, Hennepin County, Minnesota

STANDARD NOTES

- 1) **Site Address:** Outlot A - 15419 Wayzata Boulevard, Wayzata, Minnesota 55391
Lot 3 - 15429 Wayzata Boulevard, Wayzata, Minnesota 55391
Lot 2 - 1405 Holdridge Terrace, Wayzata, Minnesota 55391
- 2) A title opinion was not furnished to the surveyor as part of this survey. Only easements per the recorded plat are shown unless otherwise denoted hereon.
- 3) **Flood Zone Information:** This property appears to lie in Zone X (area determined to be outside of the 0.2% annual chance floodplain) per Flood Insurance Rate Map, Community Panel No. 2705SC0326F, effective date of 11/04/16.
- 4) **Parcel Area Information:**

Outlot A	Gross Area: 71,896 s.f.	- 1.65 acres
	Wet Area: 33,072 s.f.	- 0.76 acres
	Net Area: 38,824 s.f.	- 0.89 acres
Lot 3	Net Area: 20,749 s.f.	- 0.48 acres
Lot 2	Net Area: 15,523 s.f.	- 0.36 acres
Total	Gross Area: 108,168 s.f.	- 2.48 acres
	Wet Area: 33,072 s.f.	- 0.76 acres
	Net Area: 75,096 s.f.	- 1.72 acres

*We do not affirmatively insure the quantity of acreage set forth in the description.

- 5) **Benchmark:** Elevations are based Top Nut of Hydrant on Holdridge Terrace which has an elevation of: 973.39 feet.
- 6) **Zoning Information:** The current Zoning for the subject property is R-2A(Single Family Residential District) per the City of Wayzata's zoning map dated January 22, 2020. The setback, height, and floor space area restrictions for said zoning designation are as follows:
Principal Structure Setbacks - Street(s): 25 feet
Side: 10 feet
Rear: 20 feet
Wetland: 30 feet (From Ordinary High Water Line)

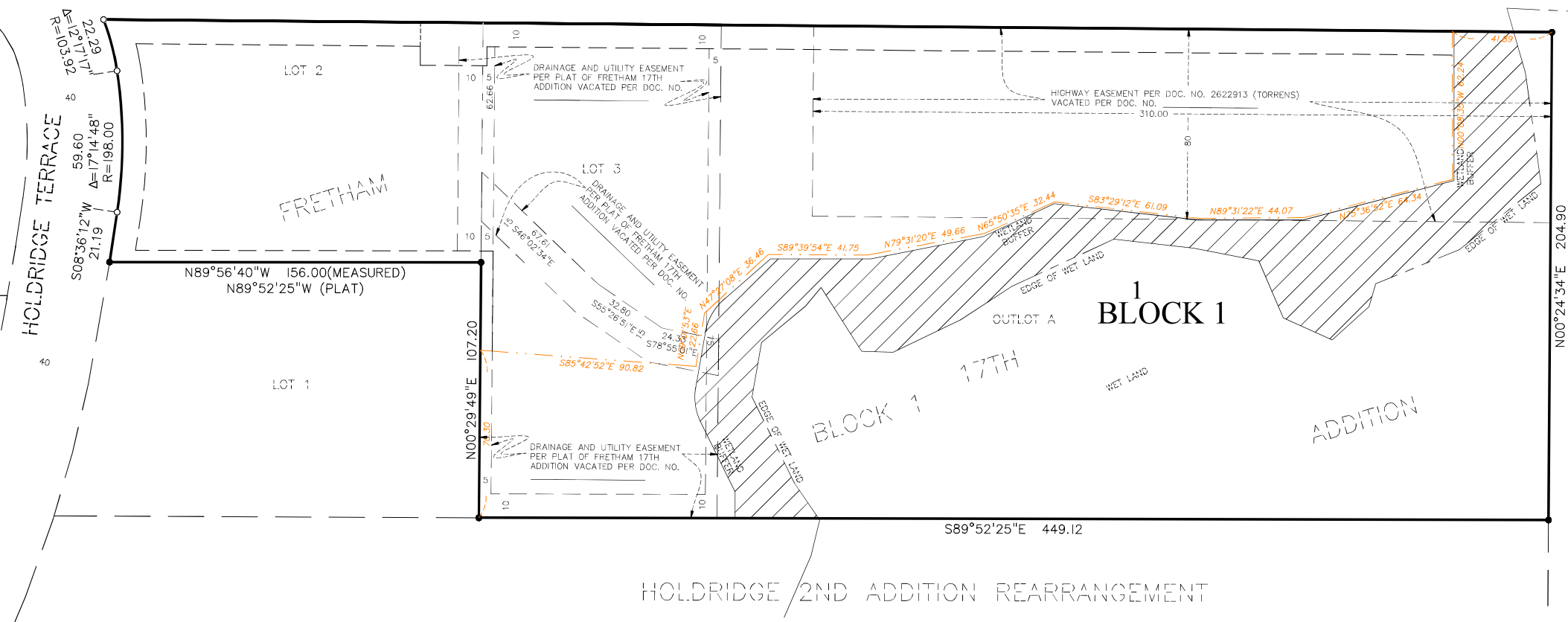
Please note that the zoning information shown hereon may have been amended through a city process. We recommend that a zoning letter be obtained from the Zoning Administrator for the current restrictions for this site. All setback information and hardcover data for planning and design must be verified by all parties involved in the design and planning process.

- 7) **Utilities:** We have shown the location of utilities on the surveyed property by observed evidence only. There may be underground utilities encumbering the subject property we are unaware. Please note that we have not placed a Gopher State One Call for this survey. There may or may not be underground utilities in the mapped area, therefore extreme caution must be exercised before any excavation takes place on or near this site. Also, please note that seasonal conditions may inhibit our ability to visibly observe all the utilities located on the subject property. Before digging, you are required by law to notify Gopher State One Call at least 48 hours in advance at 651/454-0002.
- 8) **Wetland Delineation:** The wetland delineation was performed by Kjolhaug and was flagged on 09/18/2020. Sathre-Bergquist located the wetland flags on 11/05/20.
- 9) **Proposed Legal Description:** Lot 1, Block 1, CANTISSIMO OF WAYZATA, according to the recorded plat thereof, Hennepin County, Minnesota

(US HIGHWAY 12) WAYZATA BLVD. (INTERSTATE HWY NO. 394)
TRUNK STATE HIGHWAY NO. 12

FRONTAGE ROAD

608.14 (PLAT)
N89°30'11"W 608.21 (MEASURED)



TRUNK STATE HIGHWAY NO. 12

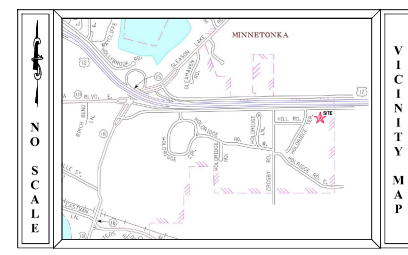
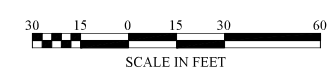
SURVEY LEGEND

- | | | |
|-------------------------|-----------------------------|----------------------------|
| ● CAST IRON MONUMENT | WCE WALKOUT ELEVATION | BITUMINOUS |
| □ CATCH BASIN | FFE FIRST FLOOR ELEVATION | BUILDING SETBACK LINE |
| △ FLARED END SECTION | GFE GARAGE FLOOR ELEVATION | CABLE TV |
| ⊗ GATE VALVE | TOF TOP OF FOUNDATION ELEV. | CONCRETE CURB |
| < GUY WIRE | LOE LOWEST OPENING ELEV. | CONCRETE |
| ⊕ HYDRANT | □ CABLE TV PEDESTAL | CONTOUR EXISTING |
| ○ SURVEY MONUMENT SET | ⊕ ELECTRIC TRANSFORMER | CONTOUR PROPOSED |
| ● SURVEY MONUMENT FOUND | ⊕ ELECTRIC MANHOLE | DT GUARD RAIL |
| △ SURVEY CONTROL POINT | ⊕ ELECTRIC METER | DT DRAIN TILE |
| ⊕ LIGHT POLE | ⊕ GAS METER | ELC ELECTRIC UNDERGROUND |
| ⊕ POWER POLE | ⊕ GAS VALVE | FENCE |
| ⊕ SANITARY MANHOLE | ⊕ HAND HOLE | FO FIBER OPTIC UNDERGROUND |
| ⊕ SANITARY CLEANOUT | ⊕ SOIL BORING | GA GAS UNDERGROUND |
| ⊕ SIGN | ⊕ TREE CONIFEROUS | OHU OVERHEAD UTILITY |
| 972.5 GROUND ELEVATION | ⊕ TREE DECIDUOUS | RAILROAD TRACKS |
| ⊕ STORM DRAIN | ⊕ TELEPHONE MANHOLE | > SANITARY SEWER |
| ⊕ STORM MANHOLE | ⊕ TELEPHONE PEDESTAL | SS STORM SEWER |
| ⊕ YARD LIGHT | ⊕ TRAFFIC SIGNAL | TEL TELEPHONE UNDERGROUND |
| ⊕ A/C UNIT | ⊕ UTILITY MANHOLE | UTL UTILITY UNDERGROUND |
| ⊕ WELL | ⊕ UTILITY PEDESTAL | WATERMAIN |



Bearings are based on the Hennepin County Coordinate System (NAD 83 - 1986 adj.)

Gross Area	108,154	s.f.
Building	10,889	s.f.
Parking	10,724	s.f.
Concrete Area/Entry Area	1,854	s.f.
Lift Station Access	500	s.f.
Stairs West Side	65	s.f.
Patio	1,154	s.f.
Access Ramp	529	s.f.
Total Hardcover	25,715	s.f.
Hard Cover % Gross Area	24%	



FIELD CREW	NO.	BY	DATE	REVISION
DM, AK	1	EJ	10/18/2022	UPDATE
DRAWN	2	DLS	12/1/2022	UPDATE
CMT	3	CMT	12/16/2022	REVISE DBJ
CHECKED				
DLS				
DATE				
4/27/2021				

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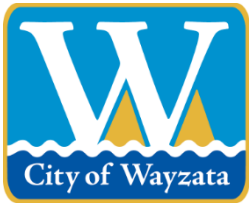
I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.
Dated this 30th day of April, 2021.
Daniel L. Schmidt
Daniel L. Schmidt, P.L.S. Minnesota License No. 26147
schmidt@sathre.com

ENGINEERS SURVEYORS DESIGNERS PLANNERS
SATHRE-BERGQUIST, INC.
150 SOUTH BROADWAY WAYZATA, MN. 55391 (952) 476-6000
WWW.SATHRE.COM

TWP:117-RGE,22-SEC.04
Hennepin County
WAYZATA, MINNESOTA

CANTISSIMO OF WAYZATA
PRELIMINARY PLAT
PILLAR SENIOR LIFESTYLE LIVING LLC

FILE NO.
7056-078
8
9



City of Wayzata Planning Commission Agenda Report

MEETING DATE: February 6, 2023	AGENDA ITEM: 4.c
TITLE: Approval of Planning Commission Report and Recommendation of Denial for Development Application for Black Dog Homes Addition at 1030 Lake St E	
PREPARED BY: Valerie Quarles, Assistant Planner	
REVIEWED BY: Emily Goellner, Community Development Director	
60 DAY DEADLINE: May 4, 2023 (extended to 120 days)	

BACKGROUND:

Applicant and property owner Black Dog Homes has applied to subdivide the existing parcel at 1030 Lake St E into three lots for new homes. The subdivision is the only request within this application. One home has been preliminarily designed and the other two new homes would be custom-built for future owners.

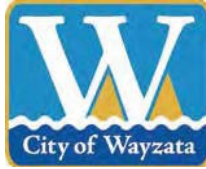
The Planning Commission discussed the application at their January 23 meeting. The Commission voted 5-0 to recommend denial of the development application requests.

ACTION REQUESTED:

Staff recommends approval of the Planning Commission Report and Recommendation.

ATTACHMENTS:

1. Planning Commission Report and Recommendation



WAYZATA PLANNING COMMISSION

February 6, 2023

REPORT AND RECOMMENDATION OF DENIAL OF SUBDIVISION AT 1030 LAKE ST E

REPORT AND RECOMMENDATION

Section 1. BACKGROUND

1.1 Application. Applicant and property owner Black Dog Homes Properties (the “Applicant”) has submitted an application for approval of a Preliminary and Final Plat for a subdivision of the property at 1030 Lake Street East (the “Property”) that would divide the existing 1.12 acre lot into three parcels (the “Proposed Subdivision”).

1.3 Property. The street address, property identification number and owner of the Property are:

Address	PID	Owner
1030 Lake Street East	06-117-22-44-0003	Black Dog Homes Properties

1.4 Land Use. The Property is zoned R-3 Single and Two Family Residential and guided Low Density Residential (1 to 3 units per acre) under the 2040 Wayzata Comprehensive Plan.

1.5 Notice and Public Hearing. Notice of a public hearing on the Application was published in the *Sun Sailor* and mailed to all property owners located within 500 feet of the Property on January 12, 2023. The public hearing on the Application was held at the January 23, 2023 Planning Commission meeting.

Section 2. STANDARDS

2.1 Subdivision / Preliminary Plat.

- A. Review and approval of lot combinations and subdivisions of property are governed by the City’s Subdivision Ordinance, Part X, Chapters 1001 through 1009 of the City Code. The City may agree to review the preliminary and final plat simultaneously. Sec. 1003.03.A.

- B. In reviewing requests for approval under the Subdivision Ordinance, the Planning Commission shall consider possible adverse effects of the proposed subdivision or lot combination reflected in the preliminary plat. Its judgment shall be based upon, but not limited to, the following factors found in Section 1003.02.E:
1. The proposed subdivision or lot combination shall be consistent with the Wayzata Comprehensive Plan.
 2. Building pads that result from a subdivision or lot combination shall preserve sensitive areas such as lakes, streams, wetlands, wildlife habitat, trees and vegetation, scenic points, historical locations, or similar community assets.
 3. Building pads that result from subdivision or lot combination shall be selected and located with respect to natural topography to minimize filing or grading.
 4. Existing stands of significant trees shall be retained where possible. Building pads that result from a subdivision or lot combination shall be sensitively integrated into existing trees.
 5. The creation of a lot or lots shall not adversely impact the scale, pattern or character of the City, its neighborhoods, or its commercial areas.
 6. The design of a lot, the building pad, and the site layout shall respond to and be reflective of the surrounding lots and neighborhood character.
 7. The lot size that results from a subdivision or lot combination shall not be dissimilar from adjacent lots or lots found in the surrounding neighborhood or commercial area.
 8. The architectural appearance, scale, mass, construction materials, proportion and scale of roof line and functional plan of a building proposed on a lot to be divided or combined shall be similar to the characteristics and quality of existing development in the City, a neighborhood or commercial area.
 9. The design, scale and massing of buildings proposed on a subdivided or combined lot shall be subject to the architectural guidelines and criteria for the Downtown Architectural District, Commercial and Institutional Architectural Districts, and Residential Architectural Districts and the Design Review Board/City Council

review process outline in Section 9 of the Wayzata Zoning Ordinance.

10. The proposed lot layout and building pads shall conform with all performance standards contained herein.
11. The proposed subdivision or lot combination shall not tend to or actually depreciate the values of neighboring properties in the area in which the subdivision or lot combination is proposed.
12. The proposed subdivision or lot combination shall be accommodated with existing public services, primarily related to transportation and utility systems, and will not overburden the City's service capacity.

Section 3. FINDINGS

Based on the Application materials, additional materials submitted by the Applicant, staff reports, public comment and information presented at the public hearing, and the standards of the Wayzata Subdivision Ordinance, and Comprehensive Plan, the Planning Commission of the City of Wayzata makes the following findings of fact:

- A. City review of the Preliminary and Final Plat simultaneously is appropriate under City Code Sec. 1003.03.A.
- B. The Planning Commission finds that there would be significant adverse effects of the Proposed Subdivision based upon the following factors found in Section 1003.02.E:
 1. The Proposed Subdivision is not consistent with other parcels within the Wayzata Comprehensive Plan Low Density Residential guidance and the Plan's goals for redevelopment that preserves "attractive natural amenities", such as "wooded areas" which are distinctive features of the Property.
 2. The building pads that would result from the Proposed Subdivision would not adequately preserve sensitive areas, including trees, on the Property.
 3. Existing stands of significant trees would not be retained where possible in the Proposed Subdivision, and the building pads that result would not be sensitively integrated into existing trees on the Property.
 5. The creation of lots in the Proposed Subdivision would adversely impact the scale, pattern or character of the surrounding neighborhood by the removal of a significant number of mature trees and the density of the Proposed Subdivision.

6. The design of a lot, the building pad, and the site layout of the Proposed Subdivision does not respond to and is not reflective of the surrounding lots and neighborhood character, particularly along the south side of the street.
7. The lot sizes that result from the proposed Subdivision would be dissimilar from lots found in the surrounding neighborhood, particularly along the south side of Lake Street.

Section 4. RECOMMENDATION

- 4.1 Planning Commission Recommendation. Based on the findings in section 3 of this Report, the Planning Commission recommends **DENIAL** of the Proposed Subdivision requested in the Application.

Adopted by the Wayzata Planning Commission this 6th day of February 2023.

Attachments:

Attachment A: Legal Description of Property

Attachment A
Legal Description of Property

That part of Block 60, Minnetonka Arlington Heights as Revised and Modified by Decree in Bk. 86, page 585 of Misc., bounded by a line beginning at Southwesterly corner of Said Block 60; thence Northeasterly to Northwesterly corner of said Block; thence Southeasterly along Northerly line of said Block, 337.9 feet; thence Southerly 146.15 feet, more or less to point in the Southerly line of said Block, distant 325.1 feet, Southeasterly from the point of beginning; thence Northwesterly along Southerly line of said Block, 325.1 feet to point of beginning, Hennepin County, Minnesota

DRAFT



City of Wayzata Planning Commission Agenda Report

MEETING DATE: February 6, 2023	AGENDA ITEM: 5.a
TITLE: Consider Development Application for Wayzata Country Club at 200 Wayzata Blvd W	
PREPARED BY: Valerie Quarles, Assistant Planner	
REVIEWED BY: Emily Goellner, Community Development Director	
60 DAY DEADLINE: May 5, 2023 (extended to 120 days)	

BACKGROUND:

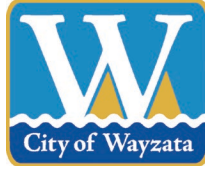
Applicant and property owner Wayzata Country Club is proposing to improve and expand their existing parking lot at 200 Wayzata Blvd W. The project would require an impervious surface variance due to the expansion of hardcover and a parking lot setback variance. The setback variance is needed because the parking lot crosses a property line on the north side of the parcel.

ACTION REQUESTED:

After considering the items outlined in this report, holding the public hearing on the application, and discussing the requests of the Application, the Planning Commission should direct staff to prepare a draft *Planning Commission Report and Recommendation*, with appropriate findings, reflecting a recommendation on the variances requested in the application, for review and adoption at the next Planning Commission meeting.

ATTACHMENTS:

1. 200 Wayzata Blvd W - Staff Report
2. 200 Wayzata Blvd W - Narrative
3. 200 Wayzata Blvd W - Site Plans (Civil Set)
4. 200 Wayzata Blvd W - Site Plans (Selected from Permit Set)
5. 200 Wayzata Blvd W - 1987 Letter from Northwest Associated Consultants



**Staff Report
Wayzata Planning Commission
February 6, 2023**

Project Name: Parking Lot Site Improvements
Approval Request: Variances (2) –Impervious Surface, Parking Setback
Applicant: Wayzata Country Club
Applicant’s Contact: Chris Gerardi, General Manager and Chief Operating Officer
Address of Request: 200 Wayzata Boulevard West
Prepared by: Valerie Quarles, Assistant Planner
“120 Day” Decision Deadline: May 5, 2023

Development Application Introduction

The applicant and owner, Wayzata Country Club, has submitted a development application requesting a

The property identification number and owner of the property are as follows:

Address	PID	Owner
200 Wayzata Blvd W	01-117-23-12-0001	Wayzata Country Club

The current zoning and comprehensive plan land use designation for the property are as follows:

Current Zoning:	R-1 Low Density Single Family Residential District
Comprehensive Plan Designation:	Semi-Public/Private
Overlay Districts:	N/A
Design District:	N/A

The current zoning and land use designations for surrounding properties are:

Direction	Address	Zoning	Land Use Designation
North	200 Wayzata Blvd W (Orono)	One Family Rural Residential – 2 acres	Park, Recreational, and Open Space
North	Unassigned Address (Orono)	One Family Rural Residential – 2 acres	Park, Recreational, and Open Space
East	163 Wayzata Blvd W	Planned Unit Development	High Density Residential
West	10 Myrtlewood Rd (Orono)	One Family Rural Residential – 2 acres	Urban Estate Density Residential
South	211 Wayzata Blvd W	R-1 Low Density Single Family Residential	Semi-Public/Private

Project Location

The property is located on the north side of Wayzata Blvd, west of Ferndale Road and just west of Highway 12. While there is another parcel addressed as 200 Wayzata Blvd W, located to the north, this is located in the City of Orono.

Map 1: Project Location



Source: Hennepin County

Application Requests

As part of the submitted development application, the applicant is requesting approval of the following items:

- A. Variance – Impervious Surface (§952.07.A): The applicant is requesting a variance of 5.8% over the required maximum impervious surface limit of 25% to 30.8%.
- B. Variance – Parking Lot Setback (§920.05.D.1): The applicant is requesting a variance of 10 feet off the required parking lot setback from the required 10 feet to 0 feet at the north property line, which is a rear yard.

Public Hearing Notice

Notice of the public hearing on the Application was published in the *Sun Sailor* on January 26, 2023. The public hearing notice was also mailed to all property owners located within 750 feet of the subject property on January 25, 2023. These mailings typically include any residents who rent, but none were found within the radius. This mailing also included property owners in Orono.

Neighborhood Notification

The applicant sent a letter about the Application to property owners located within 750 feet of the subject property on January 25, 2023. This mailing included property owners in Orono.

Public Comments

No public comments have been received.

Existing Conditions

The existing developed lot is 720,453 sq. ft. (16.54 ac) and split by Old Long Lake Road into two portions. Notably, the contiguous area owned by the Country Club and occupied by the building and golf course is in both Wayzata and Orono. The municipal boundary follows the northern property line. All references in this staff report are to the parcel on the Wayzata side, unless noted otherwise. For planned parking lot improvements within Orono, the applicant intends to go through a public hearing process with the City of Orono.

The parcel contains a portion of the golf course, the majority of the parking lot, sport courts, a pool, and a small part of the main club building. The existing club building was built in 1957 and most recently updated in 2008. The existing parking lot also crosses the municipal boundary and is accessed from Wayzata Boulevard and from Old Long Lake Road.

The impervious surface percentage of the lot is non-conforming, as the current parking lot, sport courts, sidewalks, building portion, and other hardcover on the parcel occupy 29.3% of the lot and the limit in the R-1 district is 25%. It is not clear when the property was zoned R-1, but it is not uncommon for cities to zone their park or park-like spaces to an adjacent residential zone. Staff considers this condition a legal nonconformity. Legal nonconformities are granted certain protections around repair and replacement,

but not expansion. All other parks in the City were zoned residential use until 2022 when a new Parks and Open Space zoning district was established. At that time, the scope of the zoning change was limited to City-owned properties.

Parking

The current parking lot has 259 total spaces, of which 224 are standard spaces and 35 are valet spaces. The proposed parking lot would have 307 total spaces, of which 33 are valet spaces, 272 are standard spaces, and 2 are accessible spaces. The proposed parking lot would meet today's parking standards, which requires 304 spaces.

Zoning District

The site is zoned R-1, Low Density Single Family Residential District. The R-1 District is primarily for low-density single-family homes but allows country clubs and other commercial outdoor recreational areas as a conditional use. There is no conditional use permit on file for the Country Club use, but since it is also likely that the establishment of the club predates the ordinance, the use is considered a legal nonconformity. This is confirmed in the attached 1987 letter from the City's consulting planner.

Land Use Designation

The 2040 Comprehensive Plan land use designation for the site is Semi-Public/Private. Semi-Public/Private land uses are similar to those under Institution/Public, but are typically privately owned. Uses in this category can include private golf courses, yacht clubs, and other quasi-public recreational facilities and uses.

Proposed Changes

The applicant (Wayzata Country Club) is proposing to completely replace and expand their current parking lot, which has not met the Club's parking needs as membership increases. The Club has already completed some work on the retaining walls between the club building and the parking lot. The proposed lot and existing valet area would contain 307 parking spaces (270 of which are in Wayzata) and contribute to an overall impervious surface increase from 29.3% to 30.8% (1.5% difference). The project requires an impervious surface variance and a parking setback variance on the north side. All of the proposed changes are on the east side of Long Lake Road.

Analysis of Application

Variance – Impervious Surface

	City Code	Current	Proposed
Impervious Surface	25%	29.3%	30.8%

The current impervious surface on the parcel is at 210,780 sq. ft. or 29.3% of the parcel's area. The applicant proposes to increase this total to 221,630 sq. ft. or 30.8%. The increase is mostly due to an increase in the size of the parking lot from 107,330 sq. ft. to 111,940 sq. ft. and an increase in sidewalk area from 12,160 sq. ft. to 18,400 sq. ft. Most of the new sidewalk area is within or adjacent to the parking lot. 8 total spaces are being added to the parking lot.

To account for additional runoff, the plan includes new stormwater management measures, including a stormwater management zone and biofiltration basin adjacent to the east parking lot. Per the Stormwater Management Report (dated 7/27/22) provided by the applicant, the applicant is treating 1-inch of water over all of the additional impervious surface proposed within the City of Wayzata for this project, as is required by MCWD. In Wayzata, the City of Wayzata is the LGU that administers the requirements of the MCWD’s Stormwater Rule, on behalf of the MCWD. No separate permit from the MCWD is required for the proposed improvements within the City of Wayzata. The applicant states that the stormwater improvements will create a condition in which no additional load is put on the City’s infrastructure due to runoff.

Variance – Parking Lot Setback

	City Code	Current	Proposed
Parking Lot Setback	10 feet	0 feet	0 feet

In all zoning districts except some of the Lake Street commercial areas, parking areas must be set back 10 feet from property lines. The current parking lot is within both the Wayzata and Orono lots and crosses the property line to achieve this.

The proposed parking lot would also be in both lots, but would expand further along the property line (totaling 119 ft in width to 193 ft in width along the property line). This increase is why the parking lot setback is processed as a variance because it is expanding a nonconformity.

Adjacent Review with Orono

Because the proposed improvements are also within the City of Orono, their staff will review the Country Club’s application for improvements on their side of the property line. Each city is only reviewing proposed changes within their boundaries. In Orono, 21 properties were also notified by mail of the project.

Engineering Department Comments

- The City of Wayzata can only approve work occurring within the City, and the Minnehaha Creek Watershed District (MCWD) may need to issue a permit or give other approvals for work occurring outside of the City of Wayzata.
- The Wayzata Engineering Department has required the inclusion of additional stormwater best management practices (BMPs) in the proposed parking lot that will provide additional sediment removal before stormwater exits the property and enters the City’s stormwater system. These BMPs are shown in the approved Civil Plans for the project.
- A Stormwater Facilities Maintenance Agreement (SWFMA) will also be required to address future maintenance of all stormwater facilities proposed (in Wayzata) for this project.

- An Encroachment Permit and an Encroachment Agreement will be required to address the construction and maintenance of improvements proposed within the Old Long Lake Road ROW.

City Forester Comments

- Tree inventory should conform to tree ordinance / tree preservation plan standards. Proper tagging is required. See 936.07.
- Although the tree removal threshold will not be exceeded, replacement will be required for the removed heritage trees, secured by escrow.
- Large American elm (inventoried as 32" Maple) which is shown as preserved in the new eastern parking lot island will require special protection measures. In addition to all of the protection standards described in the ordinance, the entire island shown in the site dimension plan should be air spaded post-construction, and 32" worth of escrow held. The same is true for the 32" cottonwood located about 120' to the east.
- Show quantities of each tree species shown in the replacement plan to demonstrate adherence to diversification standards.

Standards of Planning Commission Review of Application Requests

A variance is a quasi-judicial decision, meaning that the Planning Commission acts like a judge in a courtroom and evaluates the request against specific criteria.

Primary Questions to Consider:

1. Are both variances reasonable?
2. Is the plight of the landowner due to circumstances unique to the property, and not created by the landowner?
3. Would either variance alter the essential character of the locality?

Action Steps

After considering the items outlined in this report, holding the public hearing on the application, and discussing the requests of the Application, the Planning Commission should direct staff to prepare a draft *Planning Commission Report and Recommendation*, with appropriate findings, reflecting a recommendation on the application, for review and adoption at the next Planning Commission meeting.

Attachments

1. Narrative
2. Site Plans
3. 1987 Letter from Northwest Associated Consultants

Applicable Code Provisions for Review

Staff has analyzed the facts provided by the applicant in comparison with the criteria for approval. Staff has highlighted in **bold** the criteria that may require additional discussion with the Planning Commission.

Variance Standards – City Code Chapter 905

The purpose of this Section is to provide for deviations from the literal provisions of this Ordinance in instances where strict enforcement of the provisions of this Ordinance would cause practical difficulties because of circumstances unique to the individual property under consideration, and to grant such variances only when the variances are in harmony with the general purposes and intent of this Ordinance, and the variances are consistent with the Comprehensive Plan.

Criteria for Granting. Conditions governing considerations of variance requests.

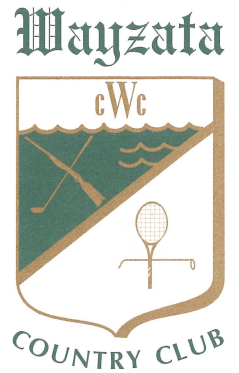
1. Variances shall only be permitted when they are:
 - a) In harmony with the general purposes and intent of this Ordinance; and
 - b) Consistent with the Comprehensive Plan.
2. Variances may be granted when the Applicant for the variance establishes that there are practical difficulties in complying with this Ordinance.
3. "Practical difficulties," as used in connection with the granting of a variance, means that:
 - a) **The property owner's proposal for the property is reasonable but not permitted by this Ordinance;**
 - b) **The plight of the landowner is due to circumstances unique to the property, and not created by the landowner; and**
 - c) **The variance, if granted, will not alter the essential character of the locality.**
4. Economic considerations alone do not constitute practical difficulties. Practical difficulties include, but are not limited to, inadequate access to direct sunlight for solar energy systems.
5. Variances shall be granted for earth sheltered construction as defined in Minn. Stats. § 216C.06, Subd. 14, when in harmony with this Ordinance.
6. The City Council shall not permit as a variance any use that is not allowed under this Ordinance for property in the zoning district where the affected person's land is located, except the City Council may permit as a variance the temporary use of a one family dwelling as a two family dwelling.
7. The City Council may impose conditions in the granting of variances. A condition must be directly related to and must bear a rough proportionality to the impact created by the variance.
8. An application for a variance shall set forth reasons that the variance is justified under the criteria of this section in order to make reasonable use of the land, structure or building.

WAYZATA COUNTRY CLUB

200 Wayzata Boulevard West

Wayzata, Minnesota 55391

Phone 952.473.8846 • Fax 952.475.9748



January 31, 2023

Ms. Valerie Quarles

Assistant Planner

City of Wayzata

600 Rice Street East

Wayzata, MN 55391

Dear Ms. Quarles,

I hope this message finds you well, and thank you and your team for all of the work you have done on the Club's behalf!

In April 2022 Wayzata Country Club hired H+U Construction to replace aging and deteriorating site features on our property. The project includes replacement of retaining walls, sidewalks, and our crumbling parking lot. The project's design is led by our Landscape Architect, Damon Farber and their Civil Engineer, Rehder & Associates. The goal of this project is to enhance the safety and appearance of our property as well as providing a minimal amount of increased parking. Membership levels and usage at WCC have increased dramatically in the past few years which has resulted in the current parking lots being at or near capacity more frequently than ever before. As you may know, on certain days our on-site parking capacity is not adequate and in order to have ample spots for our members and guests employees are forced to park at our Trap & Skeet facility and shuttle to/from the Clubhouse, which is less than ideal from a safety standpoint. In addition there are times when cars are parked on Old Long Lake Road which is not safe for our Valet staff and other drivers.

In August 2022 H+U Construction applied for a building permit to complete the project as detailed on the attached plans. The permit for the entire project was ultimately denied because of the increase in impermeable surface area created by the parking lot expansion. The platting of our property and City boundary create a unique barrier to complying with the City's impermeable surface goals. Most of our clubhouse and the area of the parking lots sits on a small plot of approximately 16.5 acres bound on the north by the City of Orono limit line, and south by Wayzata Boulevard. The City of Orono/Wayzata limit line actually cuts through parts of our clubhouse! The Club owns the land adjacent to and north of this 16.5 acre parcel as well as the land south of Wayzata Boulevard.

We are respectfully requesting a variance to the City's impermeable surface requirements to complete this project as designed on the attached plans for the following reasons:

1. Any additional stormwater run-off that may be generated by this project's minimally increased impermeable surface will be managed on our property and will not create any additional load on the City's infrastructure. Please note the plans that call for a Stormwater Management Zone and Biofiltration Basin adjacent to the east parking lot.
2. Our unique property which straddles two communities creates a distinct disadvantage for our Club to comply with the current regulations. We certainly understand and respect the City viewing the existing parcel of land and comparing it to our plan, but I believe a wholistic view of our property and the amount of green space we add to the communities of Wayzata and Orono should be a consideration.
3. The project will increase parking capacity on our property and eliminate the need for our employees to park off-site as well as limiting the need to park cars on Old Long Lake Road during our larger events.

We are also respectfully requesting a variance to the City's Parking Area Location and Design setback requirements to complete this project as designed on the attached plans for the following reasons:

This second request for variance would allow us to construct parking areas that are less than ten feet from the property lines. As mentioned above, the City of Orono/Wayzata limit line cuts through part of our existing clubhouse. That same property line runs through the existing east parking lot that we are requesting to replace and slightly expand. Because of the location of that property line, we are unable to meet the requirements of code provision 920.05.D.1 which states, "Front, side and rear setbacks of at least ten feet from property lines shall be maintained from parking areas in all zoning districts, except C-4, C-4A and C-4B Districts." The need for this variance occurs in one other area of our parking lots. The second area of conflict is on the far west edge of our parking along Old Long Lake Road. In both these areas parking already exists and we are aware of the City's encroachment agreement requirements for the existing parking area next to Old Long Lake Road.

Please accept this letter as explanations for the necessary variances to the impermeable surface requirements and 920.05 - Parking Area Location and Design: setbacks for the City of Wayzata. If you need additional information or have questions regarding this request, please contact me.

I have been at WCC for 14 years and am incredibly proud to work in such a wonderful community as Wayzata. I feel that we have been good neighbors and have done our best to help the City whenever possible. This project will improve the overall aesthetic of our Club and as a result we believe it will do the same for your great City.

Thank you very much for your consideration.

Sincerely,

A handwritten signature in blue ink that reads "Chris Gerardi". The signature is written in a cursive, flowing style.

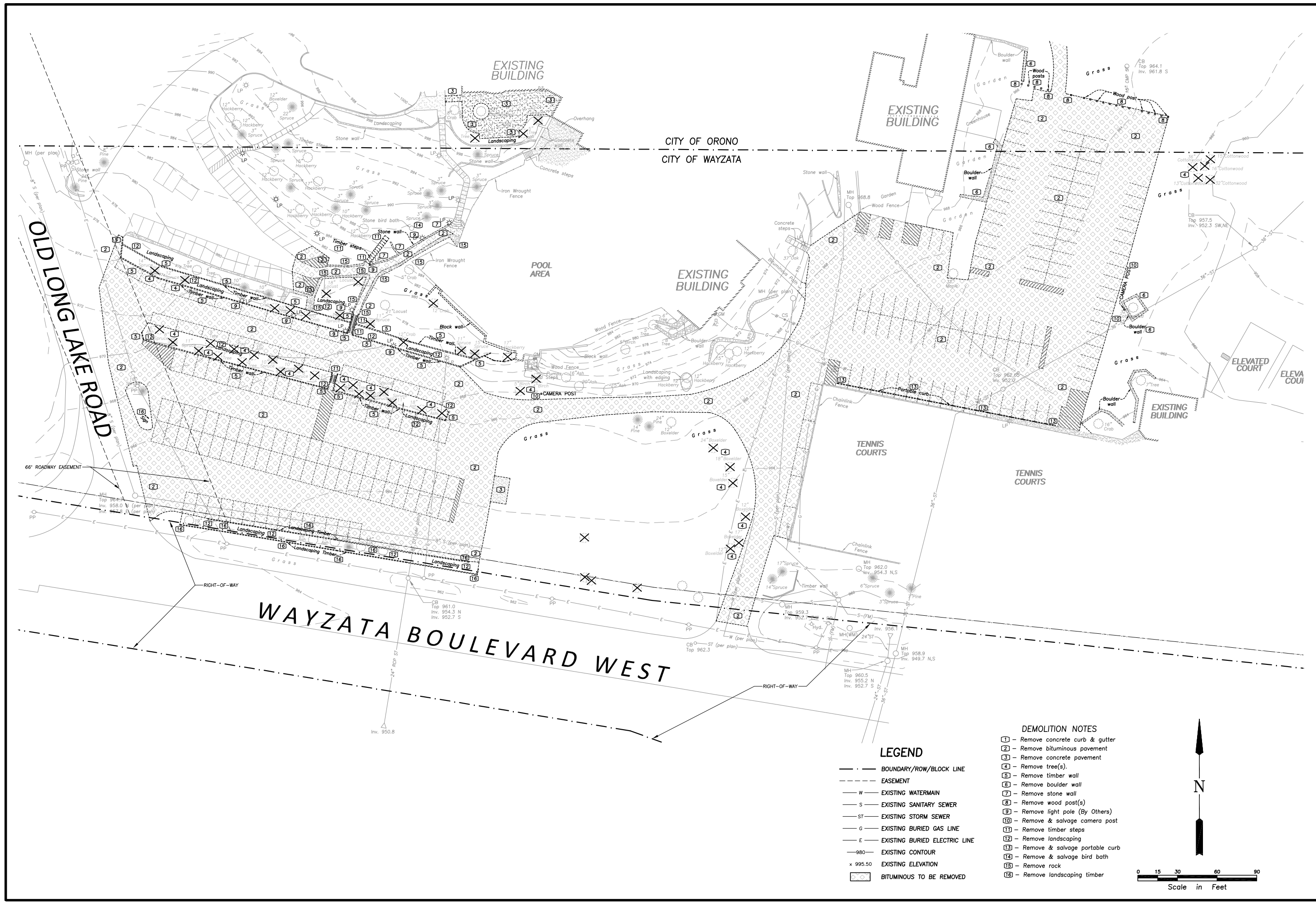
Chris Gerardi

GM/COO

Wayzata Country Club

cjgerardi@wayzatacc.com

952.475.9753



CITY OF ORONO
CITY OF WAYZATA

OLD LONG LAKE ROAD

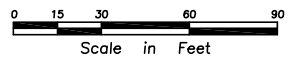
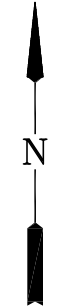
WAYZATA BOULEVARD WEST

LEGEND

- BOUNDARY/ROW/BLOCK LINE
- - - EASEMENT
- W — EXISTING WATERMAIN
- S — EXISTING SANITARY SEWER
- ST — EXISTING STORM SEWER
- G — EXISTING BURIED GAS LINE
- E — EXISTING BURIED ELECTRIC LINE
- 980 — EXISTING CONTOUR
- x 995.50 — EXISTING ELEVATION
- ◻ ◻ ◻ — BITUMINOUS TO BE REMOVED

DEMOLITION NOTES

- 1 - Remove concrete curb & gutter
- 2 - Remove bituminous pavement
- 3 - Remove concrete pavement
- 4 - Remove tree(s)
- 5 - Remove timber wall
- 6 - Remove boulder wall
- 7 - Remove stone wall
- 8 - Remove wood post(s)
- 9 - Remove light pole (By Others)
- 10 - Remove & salvage camera post
- 11 - Remove timber steps
- 12 - Remove landscaping
- 13 - Remove & salvage portable curb
- 14 - Remove & salvage bird bath
- 15 - Remove rock
- 16 - Remove landscaping timber



REHDER & ASSOCIATES, INC.
Civil Engineers & Land Surveyors
3440 Federal Drive, Suite 110
Wayzata, MN 55391
Telephone 952-432-9081
www.rehder.com

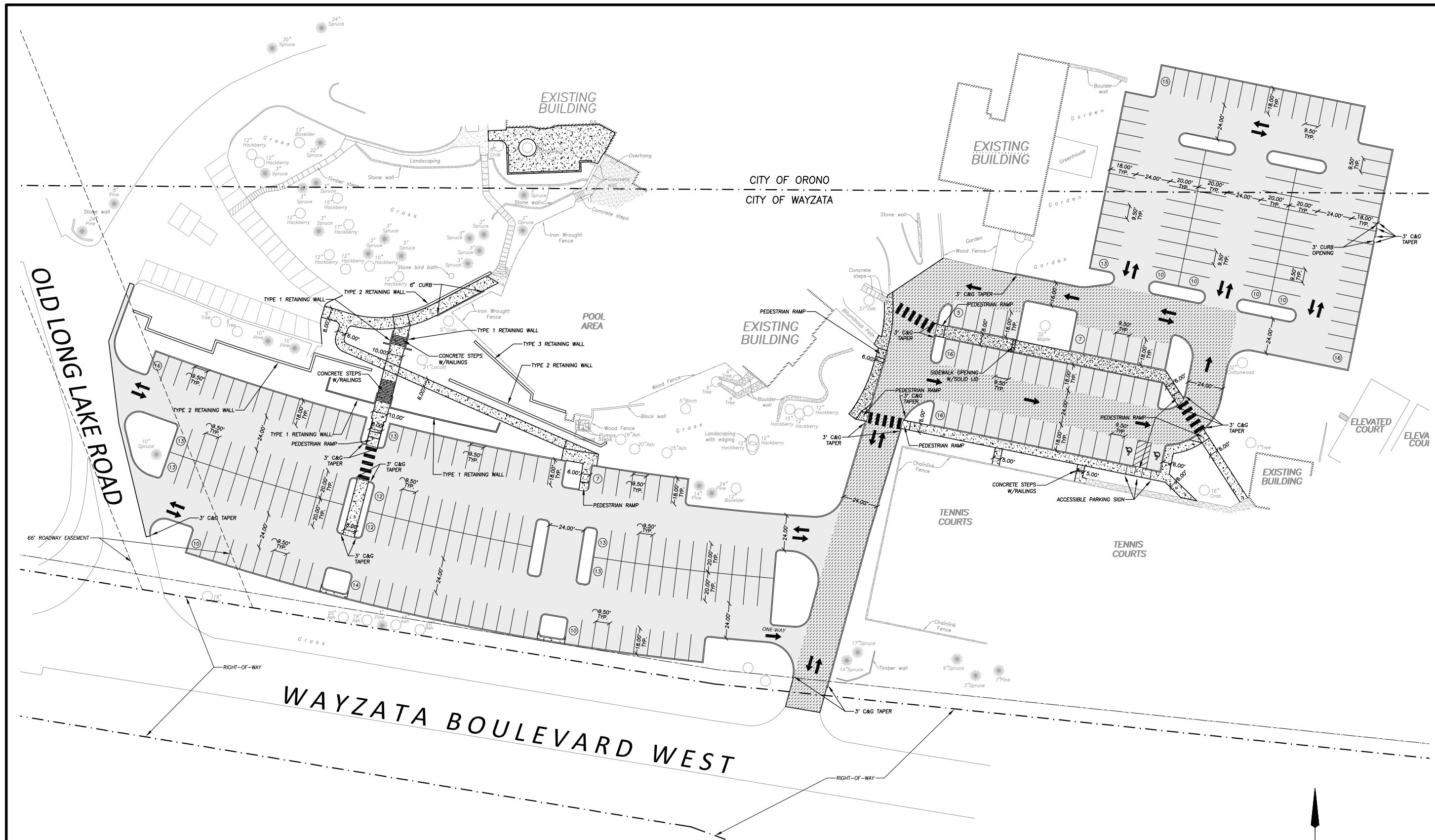
I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
Michael P. Adam
Name: Michael P. Adam Date: 12-19-22
Reg. No. 43856

ISSUED

3-17-22	SUBMITAL BID SET
3-21-22	ADDENDUM 1
7-27-22	FOR PERMIT
8-29-22	ADDRESS CITY COMMENTS
9-6-22	ADDRESS CITY COMMENTS
12-19-22	REUSE CITY COMMENTS

SITE DEMOLITION PLAN
WAYZATA COUNTRY CLUB
CITY OF WAYZATA

SHEET NUMBER
C1



CITY OF ORONO
CITY OF WAYZATA

OLD LONG LAKE ROAD

WAYZATA BOULEVARD WEST

IMPERVIOUS AREA BREAKDOWN (WITHIN WAYZATA)

TOTAL SITE AREA = 16.54 ACRES		
IMPERVIOUS AREA:	EXISTING CONDITIONS:	PROPOSED CONDITIONS:
BUILDING:	6,350 S.F.	6,350 S.F.
PARKING LOT:	107,330 S.F.	111,940 S.F.
COURTS:	65,055 S.F.	65,055 S.F.
PATIO:	9,770 S.F.	9,770 S.F.
SIDEWALKS:	12,160 S.F.	18,400 S.F.
ROADWAYS:	10,115 S.F.	10,115 S.F.
TOTAL:	210,780 S.F. (4.84 AC)	221,630 (5.09 AC)
IMPERVIOUS COVERAGE:	4.84/16.54 = 29.3%	5.09/16.54 = 30.8%

EXISTING CONDITIONS PARKING STALLS PROVIDED			
VALET STALLS	STANDARD STALLS	ACCESSIBLE STALLS	TOTAL
35	224	0	259

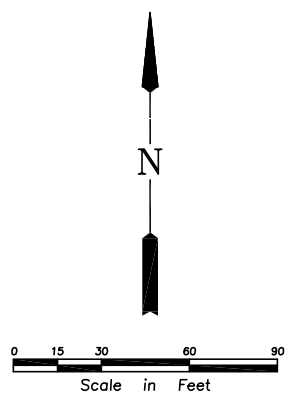
POST CONSTRUCTION PARKING STALLS PROVIDED			
VALET STALLS	STANDARD STALLS	ACCESSIBLE STALLS	TOTAL
33	272	2	307

SITE SUMMARY (WITHIN DISTURBED AREA)

DISTURBED AREA = 4.38 ACRES
 EXISTING IMPERVIOUS AREA = 2.32 ACRES
 EXISTING IMPERVIOUS AREA WITHIN WAYZATA = 2.16 ACRES
 EXISTING IMPERVIOUS AREA WITHIN ORONO = 0.16 ACRES
 PROPOSED IMPERVIOUS AREA = 2.74 ACRES
 PROPOSED IMPERVIOUS AREA WITHIN WAYZATA = 2.41 ACRES
 PROPOSED IMPERVIOUS AREA WITHIN ORONO = 0.33 ACRES

LEGEND

- BOUNDARY/ROW/BLOCK LINE
- - - EASEMENT
- [Pattern] PROPOSED CONCRETE
- [Pattern] PROPOSED LIGHT DUTY BITUMINOUS
- [Pattern] PROPOSED HEAVY DUTY BITUMINOUS



REHDER & ASSOCIATES, INC.
 Civil Engineers & Land Surveyors
 3440 Federal Drive, Suite 110
 Minneapolis, MN 55412-4081
 Telephone: 612-452-9081
 www.rehder.com

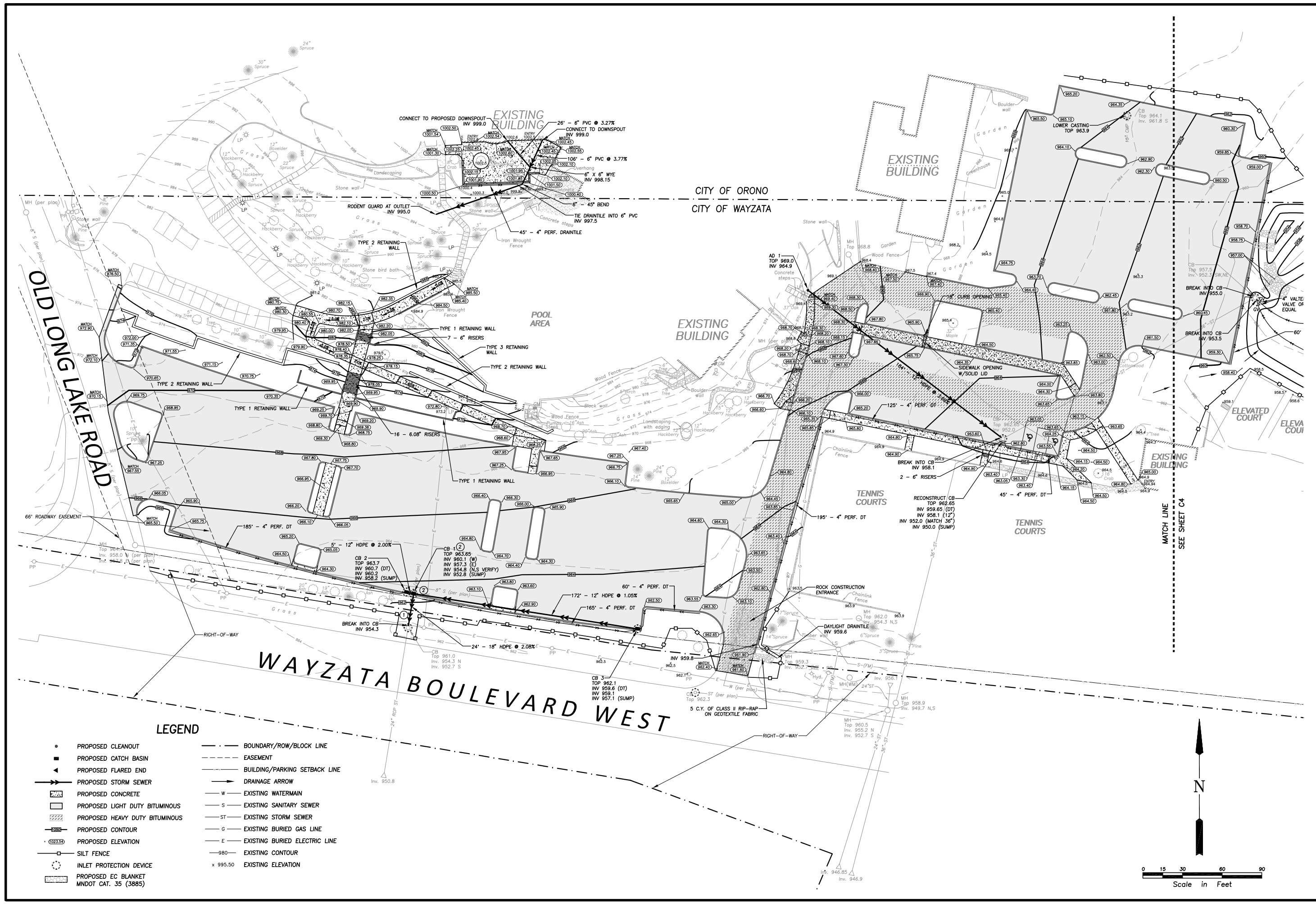
I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
 Name: Nicholas P. Adam Date: 12-19-22
 Reg. No. 43856

ISSUED	FOR
3-17-22	SUBMITTAL BID SET
3-21-22	ADDENDUM 1
7-27-22	FOR PERMIT
8-29-22	ADDRESS CITY COMMENTS
8-29-22	ADDRESS CITY COMMENTS
12-19-22	ADDRESS CITY COMMENTS

SITE DIMENSION PLAN
 WAYZATA COUNTRY CLUB
 CITY OF WAYZATA

SHEET NUMBER
C2

PROJECT NO.: 211-3242.011 DRAWING FILE: 3242011.DWG



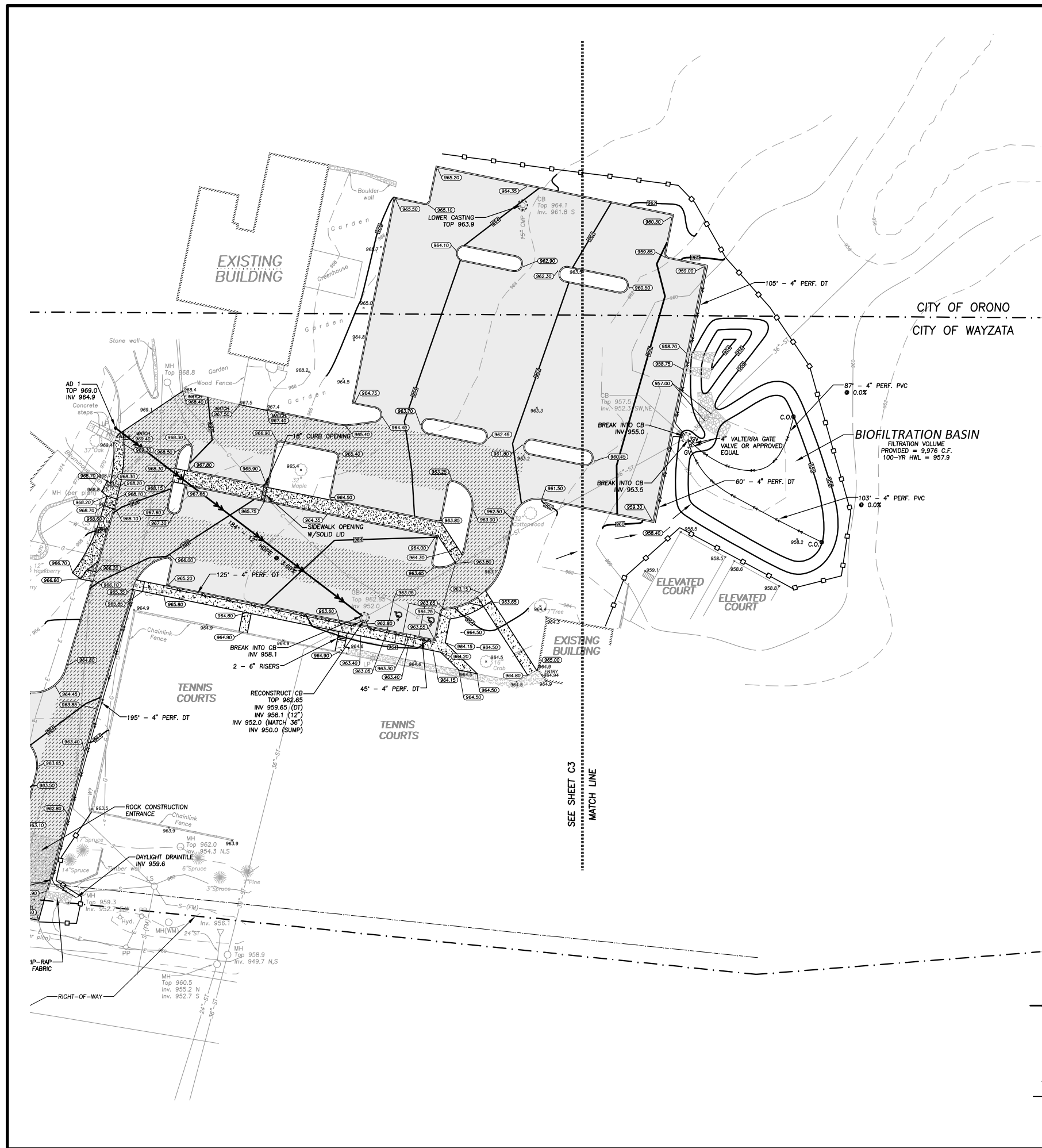
LEGEND

- PROPOSED CLEANOUT
- PROPOSED CATCH BASIN
- ▲ PROPOSED FLARED END
- PROPOSED STORM SEWER
- ▨ PROPOSED CONCRETE
- ▧ PROPOSED LIGHT DUTY BITUMINOUS
- ▩ PROPOSED HEAVY DUTY BITUMINOUS
- PROPOSED CONTOUR
- PROPOSED ELEVATION
- SILT FENCE
- INLET PROTECTION DEVICE
- ▭ PROPOSED EC BLANKET MNDOT CAT. 35 (3885)
- BOUNDARY/ROW/BLOCK LINE
- - - EASEMENT
- BUILDING/PARKING SETBACK LINE
- DRAINAGE ARROW
- W EXISTING WATERMAIN
- S EXISTING SANITARY SEWER
- ST EXISTING STORM SEWER
- G EXISTING BURIED GAS LINE
- E EXISTING BURIED ELECTRIC LINE
- 980 EXISTING CONTOUR
- x 995.50 EXISTING ELEVATION

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
 Date 12-19-22
 Name Nicholas P. Adam Reg. No. 43856

ISSUED	DESCRIPTION
3-17-22	SUBMITTAL BID SET
3-21-22	ADDENDUM 1
7-27-22	FOR PERMIT
8-29-22	ADDRESS CITY COMMENTS
8-29-22	ADDRESS STATE COMMENTS
12-19-22	ADDRESS CITY COMMENTS
12-19-22	ADDRESS STATE COMMENTS

GRADING, DRAINAGE, EROSION CONTROL & UTILITY PLAN
WAYZATA COUNTRY CLUB
CITY OF WAYZATA



GRADING NOTES

- ① - All elevations shown are to final surfaces.
- ② - Contractor is responsible for obtaining a National Pollutant Discharge Elimination System (NPDES) General Storm Water Permit for Construction Activity before construction begins.

EROSION CONTROL NOTES

- ① - Contractor is responsible for all notifications and inspections required by General Storm Water Permit.
- ② - All erosion control measures shown shall be installed prior to grading operations and maintained until all areas disturbed have been restored.
- ③ - Sweep paved public streets as necessary where construction sediment has been deposited.
- ④ - Each area disturbed by construction shall be restored per the specifications within 14 days after the construction activity in that portion of the site has temporarily or permanently ceased.
- ⑤ - Temporary soil stockpiles must have silt fence around them and cannot be placed in surface waters, including storm water conveyances such as curb and gutter systems, or conduits and ditches.
- ⑥ - The normal wetted perimeter of any temporary or permanent drainage ditch or swale that drains water from any portion of the construction site, or diverts water around the site, must be stabilized within 200 lineal feet from the property edge, or from the point of discharge into any surface water. Stabilization of the last 200 lineal feet must be completed within 24 hours after connecting to a surface water.
- ⑦ - All pipe outlets must be provided with temporary or permanent energy dissipation within 24 hours of connection to a surface water.
- ⑧ - Excess concrete/water from concrete trucks shall be disposed of in portable washout concrete basin or disposed of in a contained area.

INSPECTION AND MAINTENANCE

- The site must be inspected once every seven (7) days during active construction and within 24 hours after a rainfall event greater than 0.5 inches in 24 hours.
- All inspections and maintenance conducted must be recorded in writing and records retained with the SWPPP.
- Areas of the site that have undergone final stabilization, may have the inspection of these areas reduced to once per month.
- All silt fence must be repaired, replaced, or supplemented within 24 hours when they become nonfunctional or the sediment reaches 1/3 of the height of the fence.
- Temporary and permanent sedimentation basins must be drained and the sediment removed when the depth of the sediment reaches 1/2 the storage volume. Removal must be completed within 72 hours of discovery.
- Surface waters and conveyance systems must be inspected for evidence of sediment being deposited. Removal and stabilization must take place within seven (7) days of discovery unless precluded by legal, regulatory, or physical access constraints.
- Construction site vehicle exit locations must have sediment removed from off-site paved surfaces within 24 hours of discovery.
- Infiltration areas shall be graded to finished grade when all contributing drainage areas have been stabilized. Protect infiltration area from sediment and heavy equipment compaction during/after construction with silt fence.

POLLUTION PREVENTION MANAGEMENT

- All solid waste must be disposed of off-site per the MPCA disposal requirements.
- All hazardous waste must be properly stored with restricted access to storage areas to prevent vandalism. Storage and disposal of hazardous waste must be in compliance with MPCA Regulations.

UTILITY NOTES

- ① - Remove existing 8" drain tile between existing catch basin and CB 1.
- ② - Construct CB 1 over the existing 8" drain tile. Notify Engineer of invert.

CATCH BASIN/MANHOLE SCHEDULE

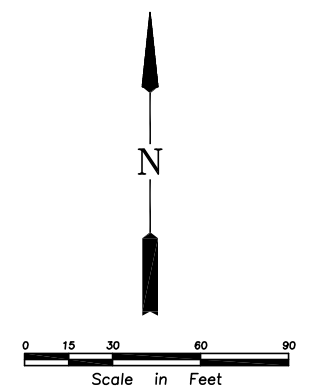
STRUCTURE NO.	BARREL SIZE	NEENAH CASTING NO.
CB 1	48"	R-3067V
CB 2	24" X 36"	R-3067V
CB 3	24" X 36"	R-3067V
RECONSTRUCTED CB	60"	R-2573-1C

AREA DRAIN SCHEDULE

STRUCTURE NO.	NYLOPLAST BASIN TYPE	NYLOPLAST GRATE
AD 1	18" DRAIN BASIN (2818AG5)	18" DOME (1899CGD)

LEGEND

- PROPOSED CLEANOUT
- PROPOSED CATCH BASIN
- ▲ PROPOSED FLARED END
- ➔ PROPOSED STORM SEWER
- PROPOSED CONCRETE
- ▨ PROPOSED LIGHT DUTY BITUMINOUS
- ▩ PROPOSED HEAVY DUTY BITUMINOUS
- PROPOSED CONTOUR
- PROPOSED ELEVATION
- SILT FENCE
- INLET PROTECTION DEVICE
- PROPOSED EC BLANKET MNDOT CAT. 35 (3885)
- BOUNDARY/ROW/BLOCK LINE
- - - EASEMENT
- BUILDING/PARKING SETBACK LINE
- ➔ DRAINAGE ARROW
- W — EXISTING WATERMAIN
- S — EXISTING SANITARY SEWER
- ST — EXISTING STORM SEWER
- G — EXISTING BURIED GAS LINE
- E — EXISTING BURIED ELECTRIC LINE
- 980 — EXISTING CONTOUR
- x 995.50 EXISTING ELEVATION

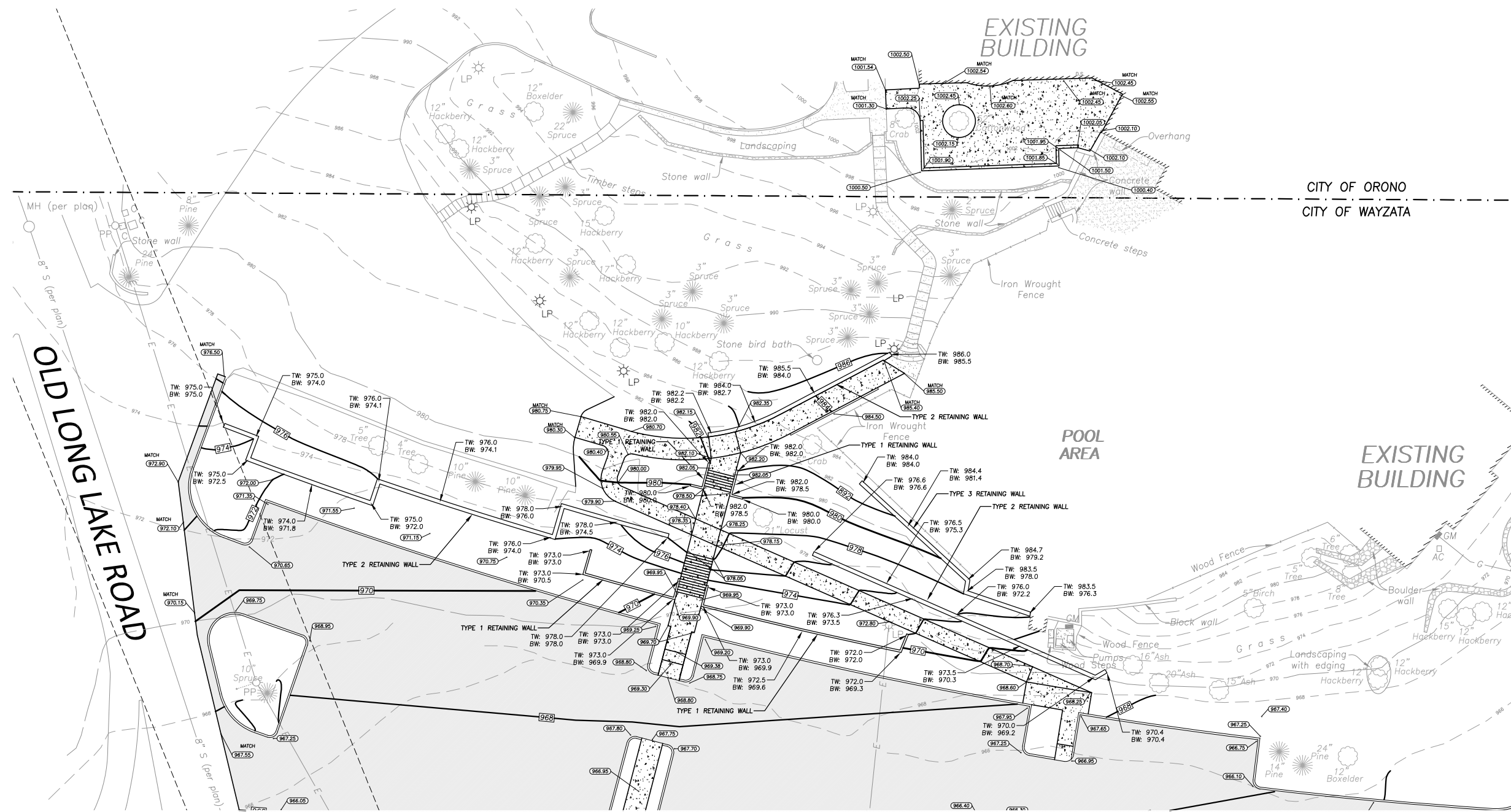


I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
 Date 12-19-22
 Name Nicholas P. Adam Reg. No. 43856

Issued

DATE	DESCRIPTION
3-17-22	SUBMITTAL BID SET
3-21-22	ADDENDUM 1
7-27-22	FOR PERMIT
8-29-22	ADDRESS CITY COMMENTS
9-6-22	ADDRESS CITY COMMENTS
12-19-22	REVISED CITY COMMENTS

GRADING, DRAINAGE, EROSION CONTROL & UTILITY PLAN
WAYZATA COUNTRY CLUB
CITY OF WAYZATA



CITY OF ORONO
CITY OF WAYZATA

OLD LONG LAKE ROAD

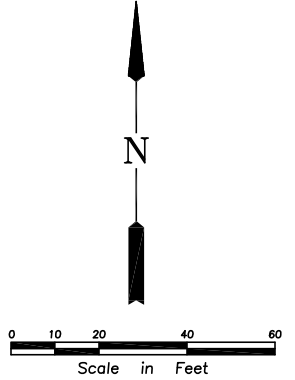
EXISTING BUILDING

POOL AREA

EXISTING BUILDING

LEGEND

- BOUNDARY/ROW/BLOCK LINE
- - - EASEMENT
- [Pattern] PROPOSED CONCRETE
- [Pattern] PROPOSED LIGHT DUTY BITUMINOUS
- PROPOSED CONTOUR
- PROPOSED ELEVATION
- EXISTING CONTOUR
- x 995.50 EXISTING ELEVATION



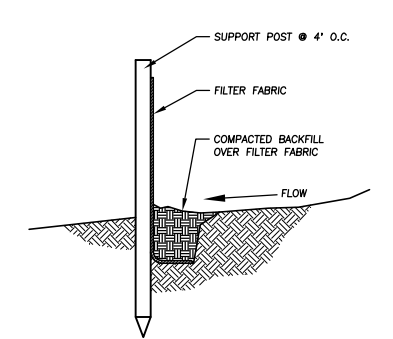
REHDER & ASSOCIATES, INC.
Civil Engineers & Land Surveyors
3440 Federal Drive, Suite 110
Wayzata, MN 55391
Telephone: 952-432-5051
www.rehder.com

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
Michael C. Adam
Name: Michael C. Adam Date: 12-19-22
Reg. No.: 43856

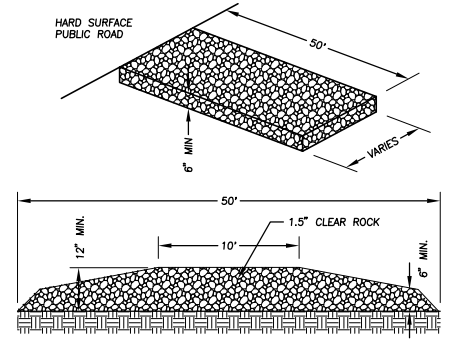
ISSUED	3-17-22
SUBMITTAL BID SET	3-21-22
ADDENDUM 1	7-27-22
FOR PERMIT	8-29-22
ADDRESS CITY COMMENTS	8-6-22
REVISIONS	12-19-22
ADDRESS CITY COMMENTS	

ENLARGED RETAINING WALL GRADING PLAN
WAYZATA COUNTRY CLUB
CITY OF WAYZATA

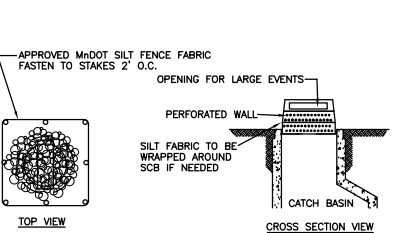
SHEET NUMBER
C5



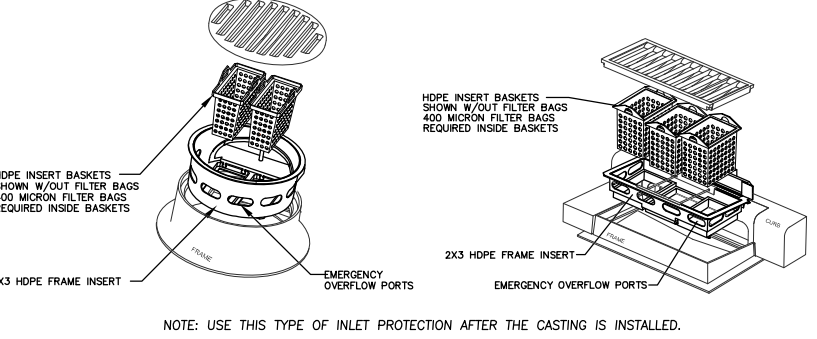
1
C6
SILT FENCE
NO SCALE



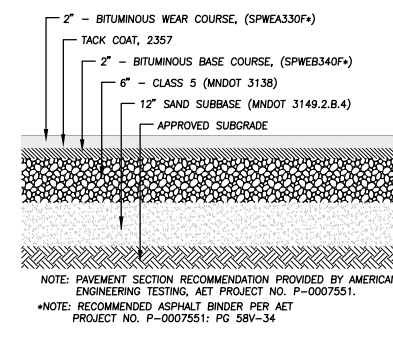
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C6
ROCK CONSTRUCTION ENTRANCE
NO SCALE



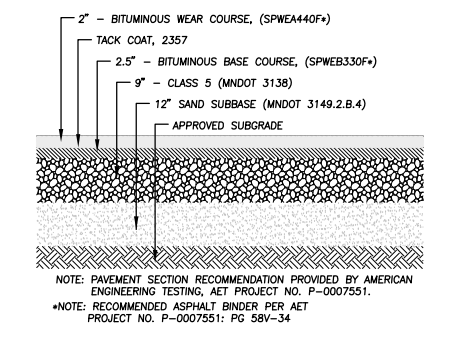
3
C6
INLET PROTECTION (INFRA SAFE OR EQUAL)
NO SCALE



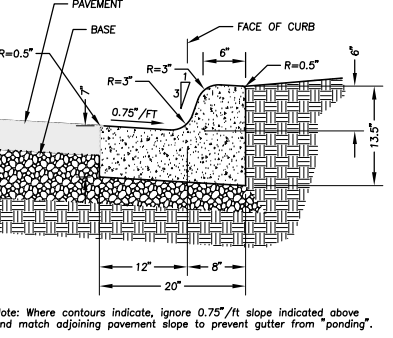
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C6
INLET PROTECTION (INFRA SAFE OR EQUAL)
NO SCALE



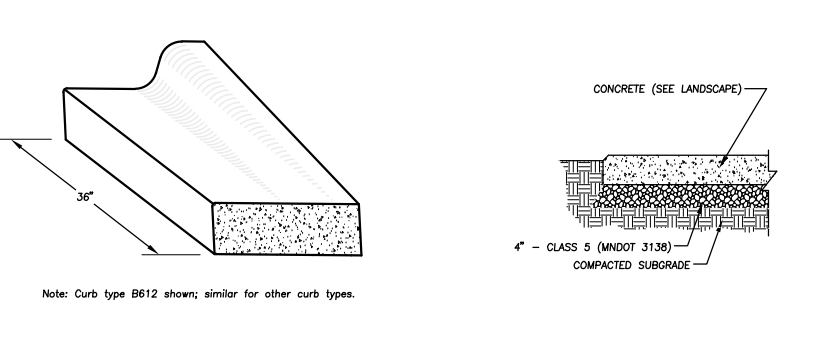
5
C6
PAVEMENT SECTION (LIGHT DUTY)
NO SCALE



6
C6
PAVEMENT SECTION (HEAVY DUTY)
NO SCALE



7
C6
B612 CONCRETE CURB & GUTTER
NO SCALE



8
C6
CURB & GUTTER BEAVERTAIL
NO SCALE

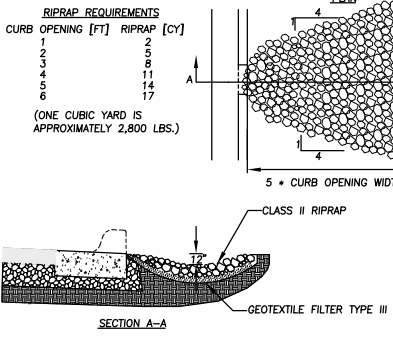
SPECIFICATIONS
GENERAL
I. GENERAL
A. Before construction begins, the Contractor shall contact all utility companies, both public and private and have them locate all utilities within the construction limits.
B. The Contractor shall be responsible for arranging all required inspections with the governing authority that has jurisdiction over the work that is to be performed.
C. The Contractor shall stay within the construction limits unless approved otherwise by the Owner and/or Engineer. Construction limits are defined by the property boundary unless shown different on the plan.
D. The Contractor shall be responsible for protecting all existing structures, utilities, trees, etc. from damage during construction.
E. The Contractor shall be responsible for correcting any damage (at Contractor's expense).
F. Any discrepancies found on the site that affect the proposed work shall be reported to the Owner and/or Engineer before the completion of any additional work.
G. Soils report and pavement recommendation provided by American Engineering Testing, Inc.
H. Existing Topography and Boundary Survey provided by Rehder & Associates, Inc.
SITE CLEARING
I. GENERAL
A. Remove trees, shrubs, grass, and other vegetation or obstructions, as required, to permit installation of improvements shown on the Plans.
II. EXECUTION
A. Trees and stumps shall be hauled from the site. Burial on-site or burning of trees and stumps will not be allowed.
B. Where existing trees are indicated to remain, leave existing topsoil in place within drip lines to prevent damage to root system.
C. Topsoil shall be stripped from disturbed areas and stockpiled in piles not exceeding 8-feet in depth.
D. Remove all back dirt and unsuitable material from under drives and roadways within 3-feet of final pavement subgrade.
E. Remove all waste materials and unsuitable or excess topsoil from Owner's property.

GRADING, EROSION CONTROL, AND TURF ESTABLISHMENT
I. GENERAL
A. All grading, erosion control and turf establishment shall be according to the materials, workmanship, and other applicable requirements of the Minnesota Department of Transportation "Standard Specifications for Construction", latest edition, unless otherwise specified.
B. All erosion control measures shown on the plans must be installed prior to commencement of grading operations and maintained until all areas affected on the site have been restored.
C. All areas disturbed by construction shall be restored with seed and disced mulch, sod, wood fiber blanket, or be hard surfaced within two weeks of substantial completion of construction.
D. Provide approved borrow soil materials from off-site when sufficient approved soil materials are not available from excavations. Remove all excess and unsatisfactory material from the site.
E. Protect structures, utilities, sidewalks, pavements, and other facilities from damage caused by settlement, lateral movement, undermining, washout, and other hazards created by earthwork operations.
F. Compaction shall not be less than the following percentages of maximum dry density according to ASTM D 698:
I. Under structures, building slabs, steps, and pavements, compact the top 12 inches below subgrade and each layer of backfill or fill material at 100 percent maximum dry density.
II. Under walkways, compact the top 6 inches below subgrade and each layer of backfill or fill material at 100 percent maximum dry density.
III. Under lawn or unpaved areas, compact the top 6 inches below subgrade and each layer of backfill or fill material at 95 percent maximum dry density.
G. Grades as shown on the plan are to finished grade.
H. Backfill trenches involving utilities under building slabs to be designed by Others (per their requirements).
II. PRODUCTS
A. Satisfactory soils include ASTM D 2487 soil classification groups GW, GP, GM, SW, SP, and SM; free of rock or gravel larger than 2-inches in any dimension, debris waste, frozen materials, vegetation and other deleterious matter.
B. Unsatisfactory soils include ASTM D 2487 soil classification groups GC, SC, ML, MH, CL, CH, OL, OH, and PT.
C. All backfill and fill materials must be satisfactory soil materials.
D. Topsoil shall be per ASTM D 5268, free of stones 1" or larger.
E. Subbase and base material must be a naturally or artificially graded mixture of natural or crushed gravel, crushed stone, and natural or crushed sand meeting MNDOT Specifications for Class 5 gravel.
F. Spring/Summer temporary turf establishment: seed shall be MNDOT Mixture 110 @ 100 lbs/acre and mulch shall be MNDOT Type 1.
G. Winter temporary turf establishment: seed shall be MNDOT Mixture 100 @ 100 lbs/acre and mulch shall be MNDOT Type 1.
III. EXECUTION
A. Fill under buildings shall be compacted to meet Soil Engineer's recommendations.
B. Place min. 4-inches of topsoil over all areas to be re-established with turf or as specified on the landscape plans.
C. Provide erosion control measures to prevent erosion or displacement of soils and discharge of soil-bearing water runoff or airborne dust to adjacent properties and walkways.
D. Place inlet protection devices in catch basins and maintain until all areas disturbed have been restored.
E. Whenever construction vehicle access routes intersect paved public roads, provisions must be made to minimize the transport of sediment (mud) by runoff or vehicles tracking onto the paved road surface. Where sediment is transported onto a public road surface, the roads shall be cleaned thoroughly at the end of each day. Sediment shall be removed by shoveling or sweeping and be transported to a sediment controlled disposal area. Street washing shall be allowed only after sediment is removed in this manner.

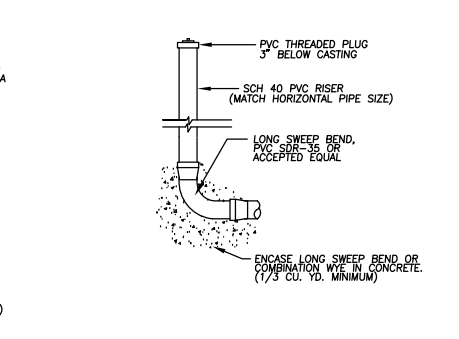
BITUMINOUS PAVEMENT
I. GENERAL
A. Provide hot-mix asphalt pavement according to the materials, workmanship, and other applicable requirements of the Minnesota Department of Transportation "Standard Specifications for Construction", latest edition, unless otherwise specified.
B. Conform to applicable standards of authorities having jurisdiction for asphalt paving work on public property.
II. PRODUCTS
A. Use coarse and fine aggregate materials and gradations that have performed satisfactorily in previous installations.
B. Provide a base and wear course as indicated on the plan unless otherwise specified.
C. Provide a tack coat as indicated on the plan unless otherwise specified.
III. EXECUTION
A. Verify that the subgrade is dry and in suitable condition to support paving and imposed loads.
B. The Contractor shall furnish a tandem truck loaded with a minimum of 14-tons to check the completed subgrade and/or aggregate base for soft spots prior to placement.
C. Machine place hot-mix asphalt on prepared surface, spread uniformly, and strike off. Place asphalt mix by hand to areas inaccessible to equipment in a manner that prevents segregation of mix. Place each course to required grade, cross section, and thickness, when compacted.
D. Begin compaction as soon as placed hot-mix paving will bear roller weight without excessive displacement.
E. Provide an average density of 96 percent of reference laboratory density according to ASTM D 1558, but not less than 94 percent nor greater than 100 percent.
F. Tolerances: Base course thickness shall be plus or minus 0.5-inches and surface course shall be plus or minus 0.25-inches.

PORTLAND CEMENT CONCRETE PAVEMENT
I. GENERAL
A. Provide Portland cement concrete pavement for roads, curbs, walks and exterior slabs according to the materials, workmanship, and other applicable requirements of the Minnesota Department of Transportation "Standard Specifications for Construction", latest edition, unless otherwise specified.
II. PRODUCTS
A. Portland cement concrete for curb and gutter and sidewalk shall be 4000 psi, 28-day compressive strength, 5.0% air entrainment, and 3-inch slump.
B. Provide Grade-60 reinforcing bars and tie bars when indicated.
C. Curing compound shall be solvent-borne, liquid membrane-forming ASTM C309, Type I or approved equal.
III. EXECUTION
A. The Contractor shall furnish a tandem truck loaded with a minimum of 14-tons to check the completed subgrade and/or aggregate base for soft spots prior to pavement placement.
B. Comply with requirements and with ACI 304R for measuring, mixing, transporting, and placing concrete.
C. Comply with the Concrete Reinforcing Steel Institute's recommended practice for "Placing Reinforcing Bars" for placing and supporting reinforcement.
D. Prefabricated expansion joints using 0.5-inch thickness shall be placed at each end of curb radius, at intersections, and approximately every 200-feet.
E. Contraction joints shall be placed at minimum 10-foot intervals in the curb and gutter and at 5-foot for walks.
F. Provide a medium to fine broom finish perpendicular to traffic flow.
G. Protect freshly placed concrete from premature drying and excessive cold or hot temperatures using moisture curing, moisture-retaining-cover curing, curing compound or a combination of these.

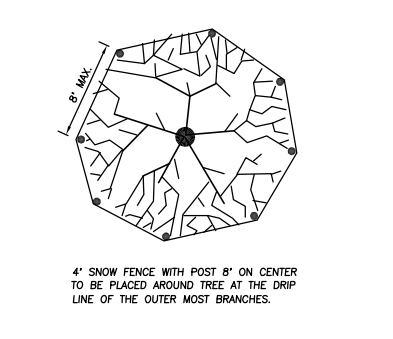
STORM SEWER
I. GENERAL
A. Storm sewer shall comply with all local regulations pertaining to storm sewer systems including materials, installation, and testing. If no regulations exist, comply with "Standard Utilities Specifications" by the City Engineers Association of Minnesota, latest edition.
II. PRODUCTS
A. Storm sewer pipe indicated on the plan as PVC shall be polyvinyl chloride pipe, ASTM D 3034, SDR 35, for solvent-cemented or gasket joints.
B. Storm sewer indicated on the plan as HDPE shall be dual wall corrugated polyethylene pipe with soil tight fittings per the Corrugated Polyethylene Pipe Association (CPPA) standard specification 100-97.
C. Storm sewer catch basins and manholes shall be precast structures with at least two and at the most five adjusting rings.
D. Storm sewer castings indicated on the plan shall be from the Neenah Foundry or approved equal.
III. EXECUTION
A. The plans indicate the general location and arrangement of underground storm sewer systems. Location and arrangement of piping take into account many design considerations. Install piping as indicated on the plans, to the extent practical.
B. PVC and HDPE sewer pipe shall be bedded in accordance with ASTM F 2306, "Standard Specification for 12 to 60 in. Annular Curved Profile-Wall Polyethylene (PE) Pipe and Fittings for Gravity-Flow Storm Sewer and Subsurface Drainage Applications".



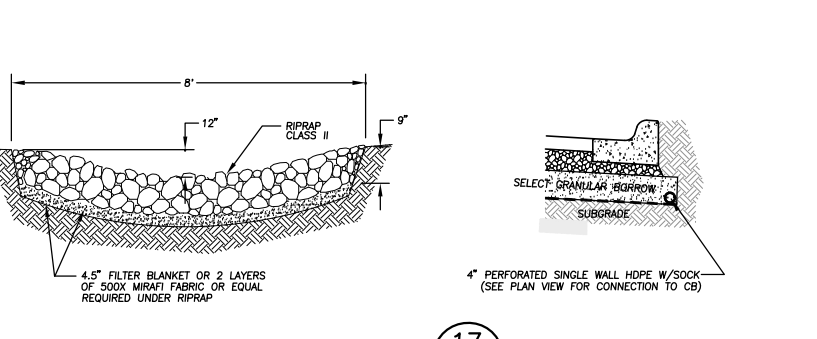
9
C6
CONCRETE SIDEWALK
NO SCALE



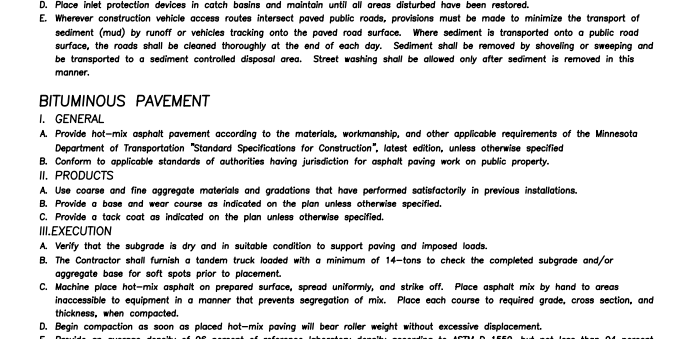
10
C6
RIPRAP AT CURB OPENING DETAIL
NO SCALE



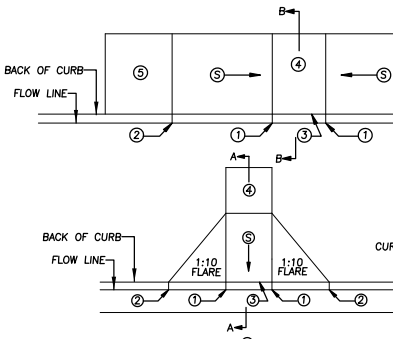
11
C6
STORM SEWER CLEANOUT
NO SCALE



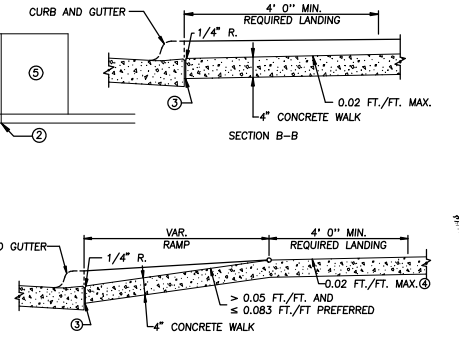
12
C6
TREE PROTECTION
NO SCALE



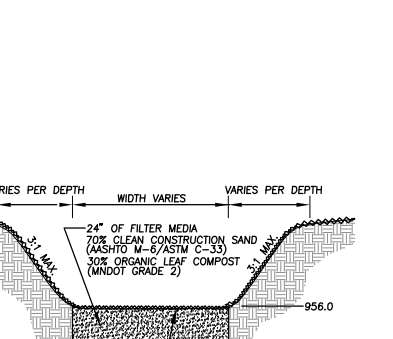
13
C6
POND OVERFLOW
NO SCALE



14
C6
PEDESTRIAN RAMP
NO SCALE



15
C6
BIOFILTRATION BASIN CROSS SECTION
NO SCALE



16
C6
SIDEWALK OPENING WITH SOLID LID
NO SCALE

3440 Federal Drive, Suite 110
Minneapolis, MN 55412-4081
www.rehder.com

REHDER & ASSOCIATES, INC.
Civil Engineers & Land Surveyors

PROJECT NO.: 211-3242.011 DRAWING FILE: 3242011.DWG

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Michelle L. Adams
Name: Michelle L. Adams Date: 12-19-22
Name: Nicholas P. Adgim Reg. No.: 43856

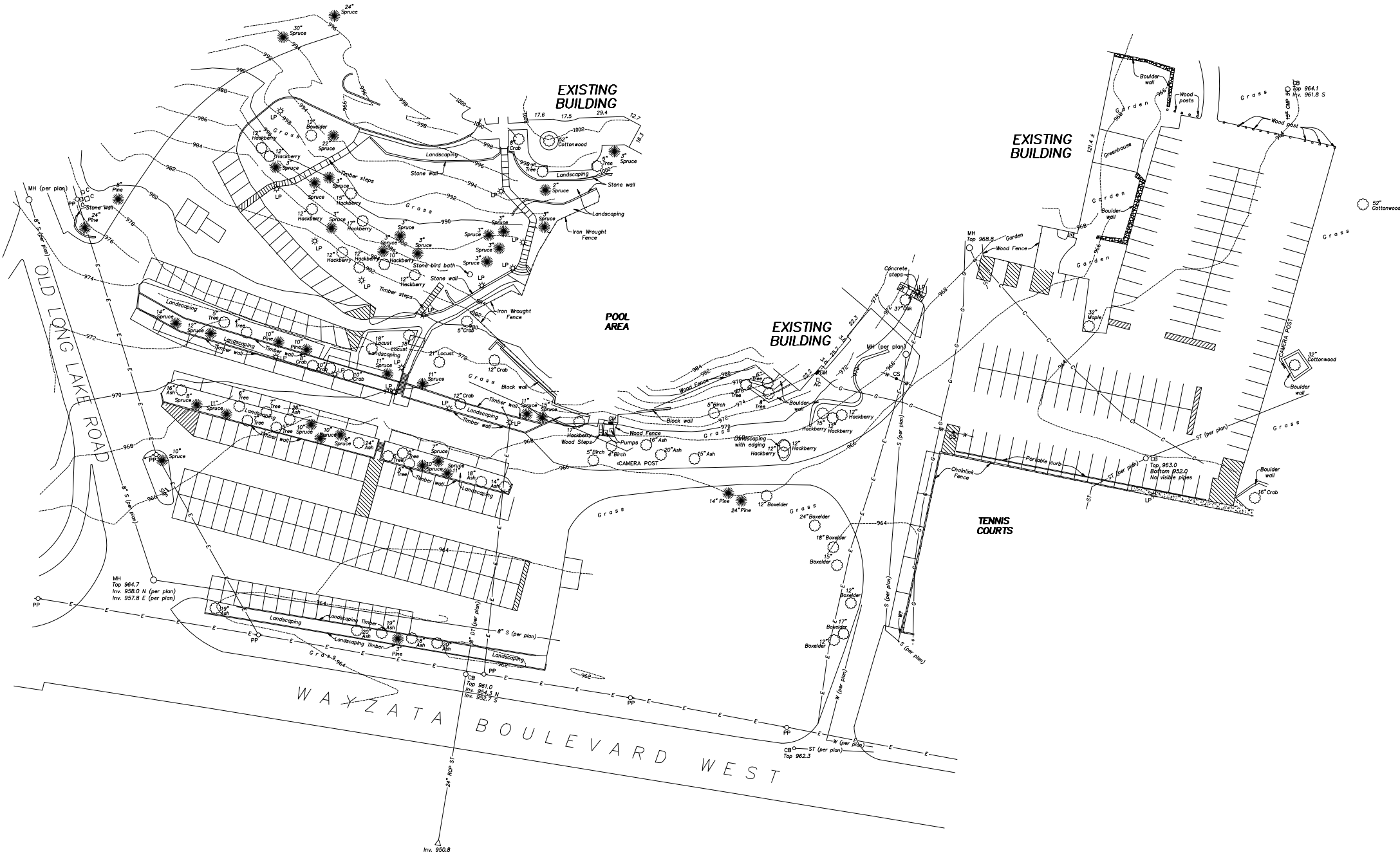
ISSUED	SUBMITTAL	DATE
ADDENDUM 1	3-17-22	
FOR PERMIT	3-21-22	
ADDRESS CITY COMMENTS	7-27-22	
ADDRESS CITY COMMENTS	8-29-22	
REVISIONS (7/27/22)	9-6-22	
ADDRESS CITY COMMENTS	12-19-22	

DETAILS
WAYZATA COUNTRY CLUB
CITY OF WAYZATA

SHEET NUMBER
C6

NOTES

1. SURVEY BY OTHERS. INCLUDED FOR REFERENCE ONLY.



1 GENERAL EXISTING CONDITON PLAN

310 South 4th Avenue, Suite 7050
 Minneapolis, MN 55415
 p. 612.332.7522

SUBMITTAL
 PERMIT SET
 08/11/2022

WAYZATA
COUNTRY
CLUB

WAYZATA, MN

I hereby certify that this document was prepared by me or under my direct supervision and that I am a duly licensed Landscape Architect under the laws of the State of Minnesota.

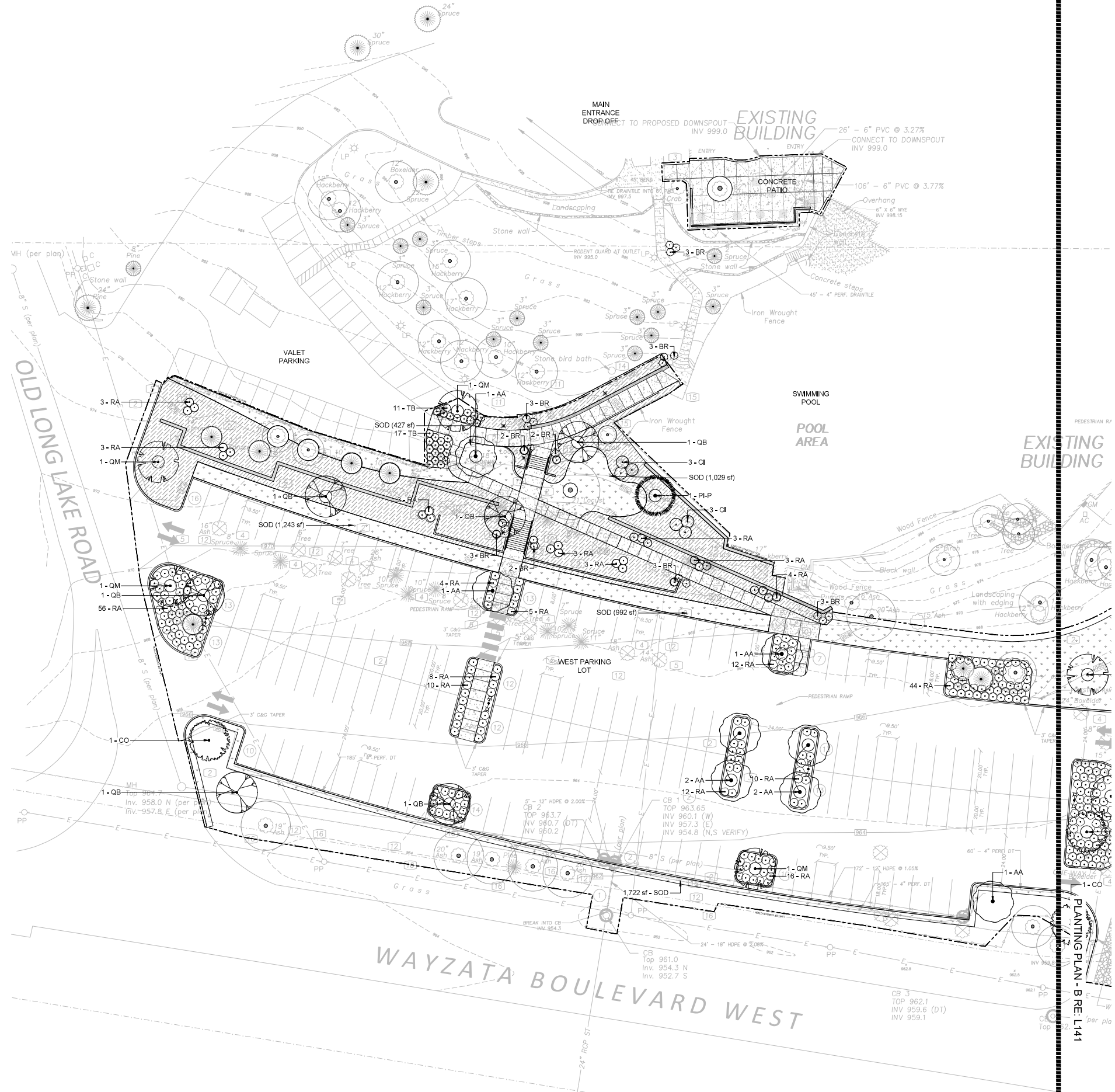
Name: Chuck Evens
 Registration#: 50575
 Signature: *Chuck Evens* Date: 08/11/2022

Date: 07/07/2022
 DF/ Project #: 21-139
 Scale: VARIES
 Drawn/Checked: AG/CE

REVISION

GENERAL
EXISTING
CONDITON
PLAN

G002



PLANT SCHEDULE

TREES	CODE	COMMON NAME
	AA	AUTUMN FLAME RED MAPLE
	CO	COMMON HACKBERRY
	QB	SWAMP WHITE OAK
	QM	BUR OAK
EVERGREEN TREES	CODE	COMMON NAME
	P-P	PONDEROSA PINE
SHRUBS	CODE	COMMON NAME
	BR	ROUND-LEAF COMMON BOXWOOD
	CA	ARTIC FIRE DOGWOOD
	CI	ISANTI RED TWIG DOGWOOD
	RA	GRO-LOW FRAGRANT SUMAC
	TB	TECHNITO GLOBE ARBORVITAE
GROUND COVERS	CODE	COMMON NAME
		PLANTING MIX PROVIDED BY OWNER
		SOD
		STORMWATER INFILTRATION BASIN MIX
		SOD
		SOD

- NOTES:**
- LEGEND SYMBOLS NOT SHOWN TO SCALE
 - REFER TO SHEET L550 FOR PLANTING DETAILS.



310 South 4th Avenue, Suite 7050
 Minneapolis, MN 55415
 p. 612.332.7522

SUBMITTAL PERMIT SET
 08/11/2022

WAYZATA COUNTRY CLUB

WAYZATA, MN

I hereby certify that this document was prepared by me or under my direct supervision and that I am a duly licensed Landscape Architect under the laws of the State of Minnesota.

Name: Chuck Evens
 Registration#: 50575
 Signature: *Chuck Evens* Date: 08/11/2022

Date: 07/07/2022
 DF/ Project #: 21-139
 Scale: VARIES
 Drawn/Checked: AG/CE

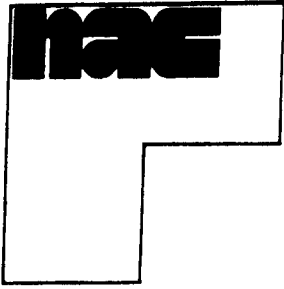
REVISION

PLANTING PLAN - A

L140

1 PLANTING PLAN - A

PLANTING PLAN - B RE: L141



northwest associated consultants, inc.

September 17, 1987

Mr. Charles F. Diessner
Fredrikson & Byron, P.A.
1100 International Centre
900 Second Avenue South
Minneapolis, Minnesota 55402

Ms. Carolyn E. McAdams
The Bank Wayzata
900 East Wayzata Boulevard
Wayzata, Minnesota 55391

Title Insurance Company of Minnesota
400 Second Avenue South
Minneapolis, Minnesota 55401

RE: Wayzata - Wayzata Country Club Remodeling

File No: 103.09 - 87.41

Sir/Madam:

I am writing at the directive of the Wayzata City Manager relative to the zoning compliance of the Wayzata Country Club located at 200 Wayzata Boulevard, Wayzata, Minnesota. As City planners for the City of Wayzata, our office has checked the zoning of the property in question.

The property is zoned R-1 which allows private recreational uses by conditional use permit. It is our understanding that the Country Club existed prior to the present zoning and therefore no conditional use permit was processed. However, due to the development timing, the Country Club is considered an acceptable use, which is "grandfathered" and is therefore judged as complying with zoning requirements. As long as the present proposed improvements do not expand or significantly change the activity or size of operation, no additional zoning applications need to be processed.

Mr. Charles F. Diessner
Ms. Carolyn E. McAdams
Title Insurance Company of Minnesota
September 17, 1987
Page Two

Should there be additional questions on this matter, please contact our office accordingly.

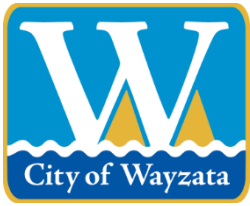
Very truly yours,

NORTHWEST ASSOCIATED CONSULTANTS, INC.

David R. Licht, AICP
President

DRL/nd

cc: Allan Orsen
Randy Nummela
James Shaughnessy



City of Wayzata Planning Commission Agenda Report

MEETING DATE: February 6, 2023	AGENDA ITEM: 6.a
TITLE: Review of Development Activities	
PREPARED BY: Valerie Quarles, Assistant Planner	
REVIEWED BY: Emily Goellner, Community Development Director	
60 DAY DEADLINE: N/A	

BACKGROUND:

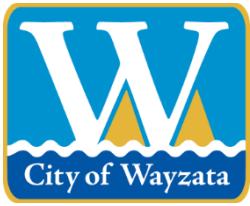
A verbal update will be provided at the meeting.

ACTION REQUESTED:

N/A

ATTACHMENTS:

None



City of Wayzata Planning Commission Agenda Report

MEETING DATE: February 6, 2023	AGENDA ITEM: 6.b
TITLE: Planning Commission Meeting Schedule	
PREPARED BY: Valerie Quarles, Assistant Planner	
REVIEWED BY: Emily Goellner, Community Development Director	
60 DAY DEADLINE: N/A	

BACKGROUND:

The next Planning Commission meeting is on Monday, February 27, 2023; however, due to multiple absences, it is likely that this meeting will be canceled and agenda items will shift to the meeting on March 6, 2023. The 2023 City Meeting Calendar and Liaison Schedule are attached.

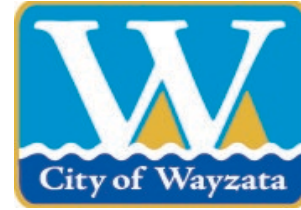
ACTION REQUESTED:

N/A

ATTACHMENTS:

1. 2023 Wayzata City Calendar
2. 2023 Planning Commission Liaison Schedule

City of Wayzata 2023 Meeting Calendar



January 2023						
S	M	T	W	Th	F	S
1	2	3	4	5	6	7
8	9	10	11	12	13	14
15	16	17	18	19	20	21
22	23	24	25	26	27	28
29	30	31				

February 2023						
S	M	T	W	Th	F	S
			1	2	3	4
5	6	7	8	9	10	11
12	13	14	15	16	17	18
19	20	21	22	23	24	25
26	27	28				

March 2023						
S	M	T	W	Th	F	S
			1	2	3	4
5	6	7	8	9	10	11
12	13	14	15	16	17	18
19	20	21	22	23	24	25
26	27	28	29	30	31	

April 2023						
S	M	T	W	Th	F	S
						1
2	3	4	5	6	7	8
9	10	11	12	13	14	15
16	17	18	19	20	21	22
23	24	25	26	27	28	29
30						

May 2023						
S	M	T	W	Th	F	S
	1	2	3	4	5	6
7	8	9	10	11	12	13
14	15	16	17	18	19	20
21	22	23	24	25	26	27
28	29	30	31			

June 2023						
S	M	T	W	Th	F	S
				1	2	3
4	5	6	7	8	9	10
11	12	13	14	15	16	17
18	19	20	21	22	23	24
25	26	27	28	29	30	

July 2023						
S	M	T	W	Th	F	S
						1
2	3	4	5	6	7	8
9	10	11	12	13	14	15
16	17	18	19	20	21	22
23	24	25	26	27	28	29
30	31					

August 2023						
S	M	T	W	Th	F	S
		1	2	3	4	5
6	7	8	9	10	11	12
13	14	15	16	17	18	19
20	21	22	23	24	25	26
27	28	29	30	31		

September 2023						
S	M	T	W	Th	F	S
						1
2	3	4	5	6	7	8
9	10	11	12	13	14	15
16	17	18	19	20	21	22
23	24	25	26	27	28	29
30						

October 2023						
S	M	T	W	Th	F	S
1	2	3	4	5	6	7
8	9	10	11	12	13	14
15	16	17	18	19	20	21
22	23	24	25	26	27	28
29	30	31				

November 2023						
S	M	T	W	Th	F	S
			1	2	3	4
5	6	7	8	9	10	11
12	13	14	15	16	17	18
19	20	21	22	23	24	25
26	27	28	29	30		

December 2023						
S	M	T	W	Th	F	S
						1
2	3	4	5	6	7	8
9	10	11	12	13	14	15
16	17	18	19	20	21	22
23	24	25	26	27	28	29
30	31					

- Energy & Environment 5:00 PM
- Planning Commission - 6:30 PM
- City Council - 7:00 PM
- Wayzata School Board
- Lake Minnetonka Conservation District (LMCD)
- Heritage Preservation Board (HPB) - 5:00 PM
- Housing & Redevelopment Authority (HRA) - 7:30 AM
- Parks & Trails Board - 6:00 PM
- Charter Commission - 9:00 AM
- Elections (see below)
- Night to Unite

Meeting dates and times are subject to change. Dates can be confirmed by calling City Hall.

 Holiday Observed
City Offices Closed

Revised
9/21/2022

2023 Planning Commission Assignments at Council Meetings

	<u>Meeting Date</u>	<u>Commission Representative</u>
Tuesday	January 10	Peggy Douglas
Tuesday	January 24	Adam Elg
Tuesday	February 7	Laura Merriam
Tuesday	February 21	Bonnie Schwalbe
Tuesday	March 7	Jennifer Severson
Tuesday	March 21	Ken Sorensen
Tuesday	April 4	Larissa Stockton
Tuesday	April 18	Peggy Douglas
Tuesday	May 2	Adam Elg
Tuesday	May 16	Laura Merriam
Tuesday	June 6	Bonnie Schwalbe
Tuesday	June 20	Jennifer Severson
N/A	No meeting July 4th week	
Tuesday	July 18	Ken Sorensen
Tuesday	August 8	Larissa Stockton
Tuesday	August 22	Peggy Douglas
Tuesday	September 5	Adam Elg
Tuesday	September 19	Laura Merriam
Tuesday	October 13	Bonnie Schwalbe
Tuesday	October 17	Jennifer Severson
Tuesday	November 7	Ken Sorensen
Tuesday	November 21	Larissa Stockton
Tuesday	December 5	Peggy Douglas
Tuesday	December 19	Adam Elg